

E Marchitects

ARCHITECTURE PLANNING INTERIORS GRAPHICS

ELLIOTT MARSHALL INNES PA. (EMI prohiech)
251 E. 7TH AVENUE TALLAHASSEE FL 32303
(850) 222 - 7442
www.emiorch.com
UCRSE #s As C000409 (6 C000153)

NOTE: 11"x17" SHEETS ARE PLOTTED AT ½ THE SCALE NOTED ON THESE DRAWINGS.

Florida Department of State
Division of Historical Resources

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME: Jefferson County Board of County Commissonioners MONTICELLO, FLORIDA

	•	
REV	DATE	DESCRIPTION
\triangle	04/20/2023	HURRICANE MICHAEL
		GRANT

PROJECT PHASE

100% CONSTRUCTION DOCUMENTS

DATE DRAWN BY RMP

PROJECT NO CHECKED BY 65000 SKC

SHEET TITLE

SECOND FLOOR DIMENSIONS PLAN

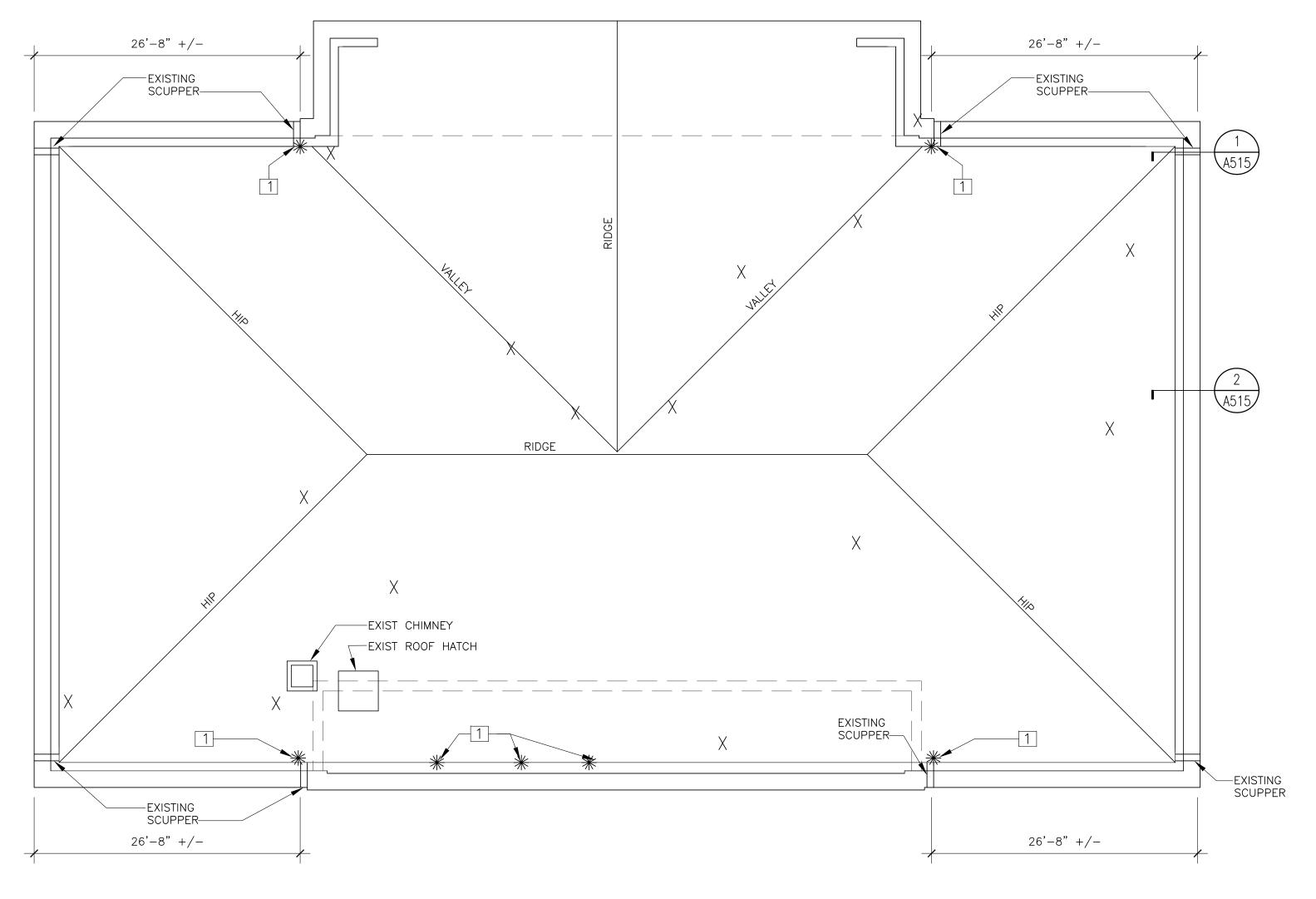
SHEET NO REV NO A108



ELIIOTT MARSHALL INNES PA. (EMI prohiects) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442 www.emiorch.com UCHSE #1 AA 0000409 IB 0000153

NOTE: 11"x17" SHEETS ARE PLOTTED AT ½ THE SCALE NOTED ON THESE DRAWINGS.

1 LOCATE ROOF LEAK(S) IN EXISTING BUILT—IN GUTTER & REPAIR COPPER GUTTER TO WATERTIGHT CONDITION.
WATER TEST AFTER COMPLETION.



ROOF PLAN- ACTIVE LEAK LOCATIONS

1/8" = 1'-0"

NOTE:
-DIMENSIONS ON THIS SHEET ARE APPROXIMATE & TAKEN FROM INSIDE SURFACE OF PARAPET.

-ACTIVE LEAKS ARE ASSUMED TO BE LOCATED ON EXISTING JOINTS/SEAMS.

LEGEND

CONSTRUCTION NOTES:

APPROXIMATE LOCATION(S) OF WATER INFILTRATION.

X APPROXIMATE LOCATION(S) DAMAGED SLATE ROOF TILES

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REV	DATE	DESCRIPTION

PROJECT PHASE

100% CONSTRUCTION DOCUMENTS

DATE
01 AUGUST 2019

PROJECT NO
65000

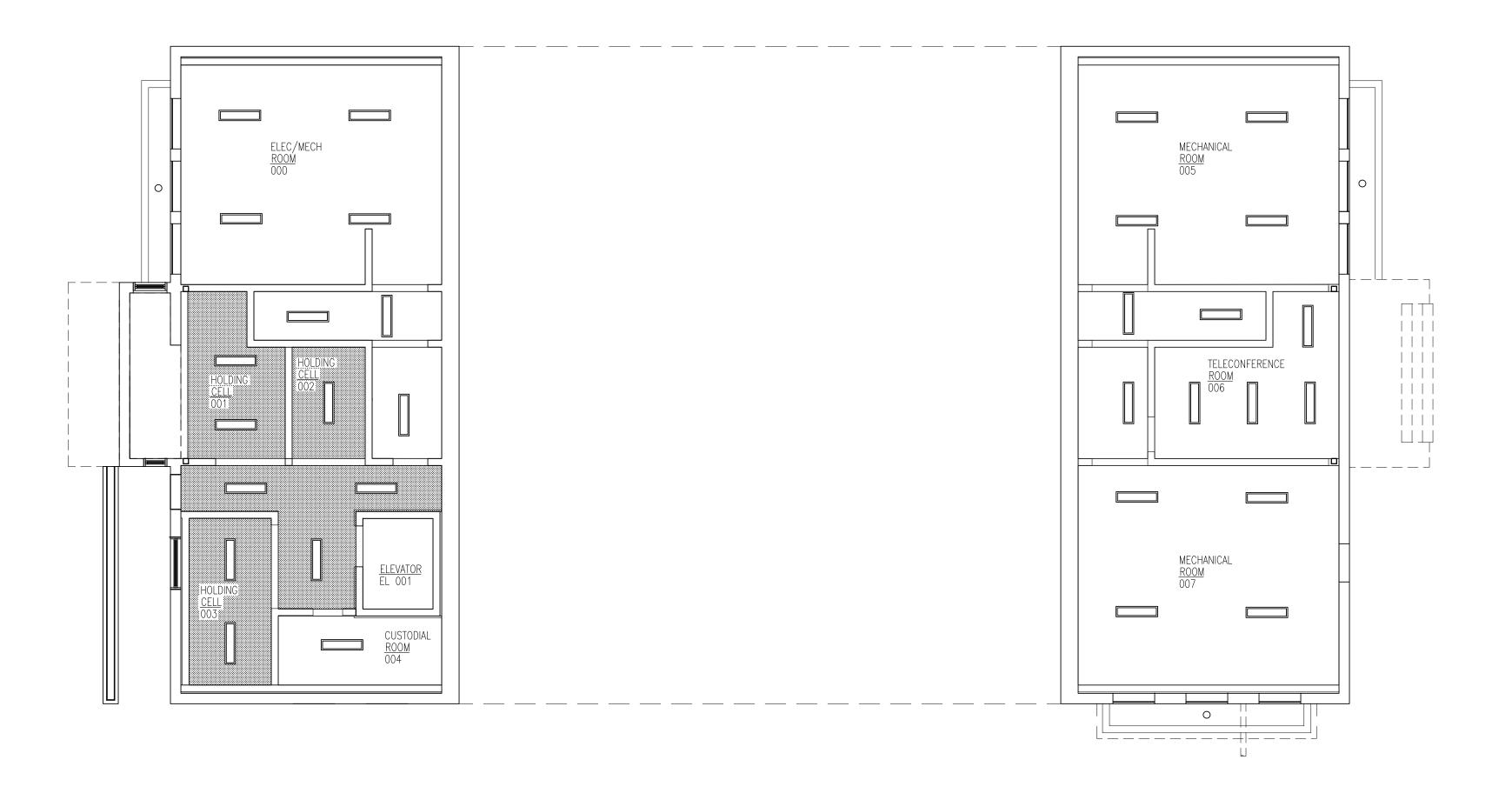
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RMP

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SHEET TITLE

ROOF PLAN

SHEET NO	REV NO
A115	





REFLECTED CEILING LEGE	ND:	NOTE:
TONGUE AND GROOVE WOOD CEILING	CEILING MOUNTED LIGHT FIXTURE RECESSED LINEAR FIXTURE	MATERIAL FINISHES, CEILING DESIGN AND LUCATIONS
GWB CEILING	PENDANT FIXTURE FIRE ALARM STROBE RETURN AIR TRANSFER	OF LIGHTING, MECHANICAL, FIRE SPRINKLERS, ETC. SEE THE APPLICABLE MECHANICAL, ELECTRICAL OR FIRE SPRINKLER DRAWINGS FOR ADDITIONAL INFORMATION.
GWB CEILING W/ EPOXY COAT	OR HID LIGHT FIXTURE WALL MOUNTED INCANDESCENT, FLUORESCENT OR HID LIGHT	2. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION PLANS FOR SPECIFIC NOTES
EXPOSED CEILING	FLUORESCENT OR HID LIGHT FIXTURE SUPPLY EXIT LIGHT	REGARDING ALL DEVICES, FIXTURES, DIFFUSERS, GRILLES, ETC.



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11"x17" SHEETS ARE PLOTTED AT 1/2 THE SCALE NOTED ON THESE DRAWINGS.

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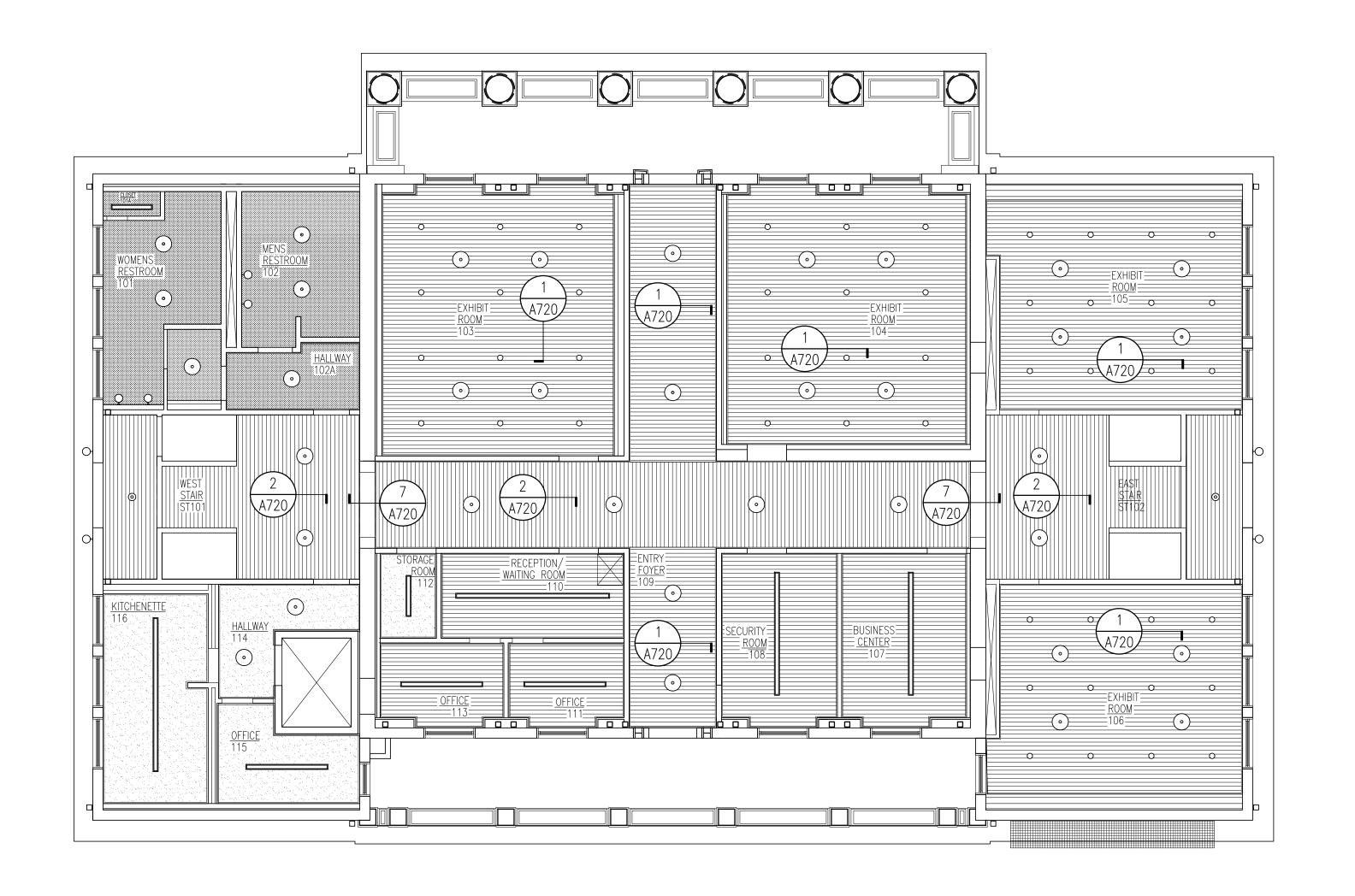
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100% CONSTRUCTION DOCUMENTS

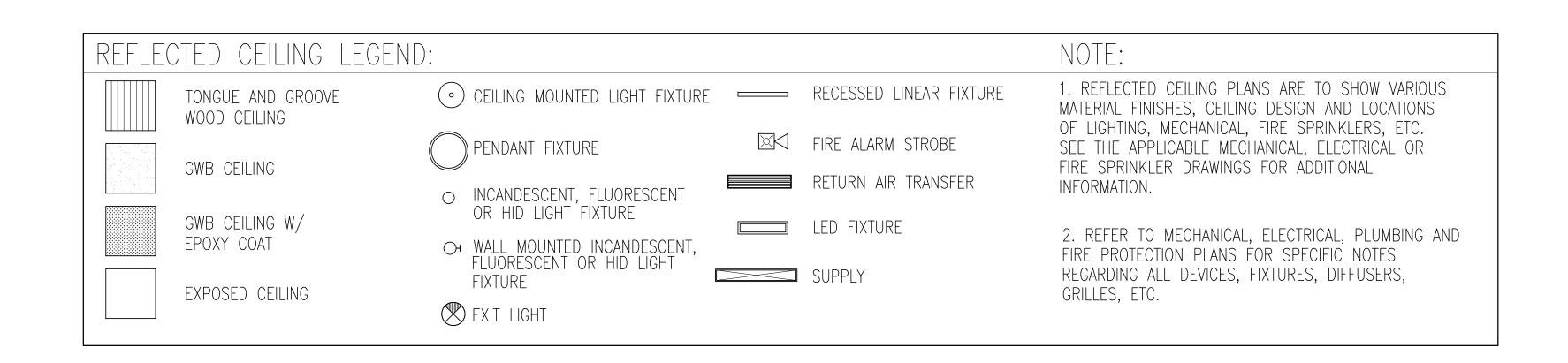
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SHEET TITLE

BASEMENT REFLECTED CEILING PLAN









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NOTE:

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Division of Historical Resources

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME:

Jefferson County Board of
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MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION	
PROJECT	PHASE	1	

100% CONSTRUCTION DOCUMENTS

DATE
01 AUGUST 2019

PROJECT NO

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RMP

CHECKED BY

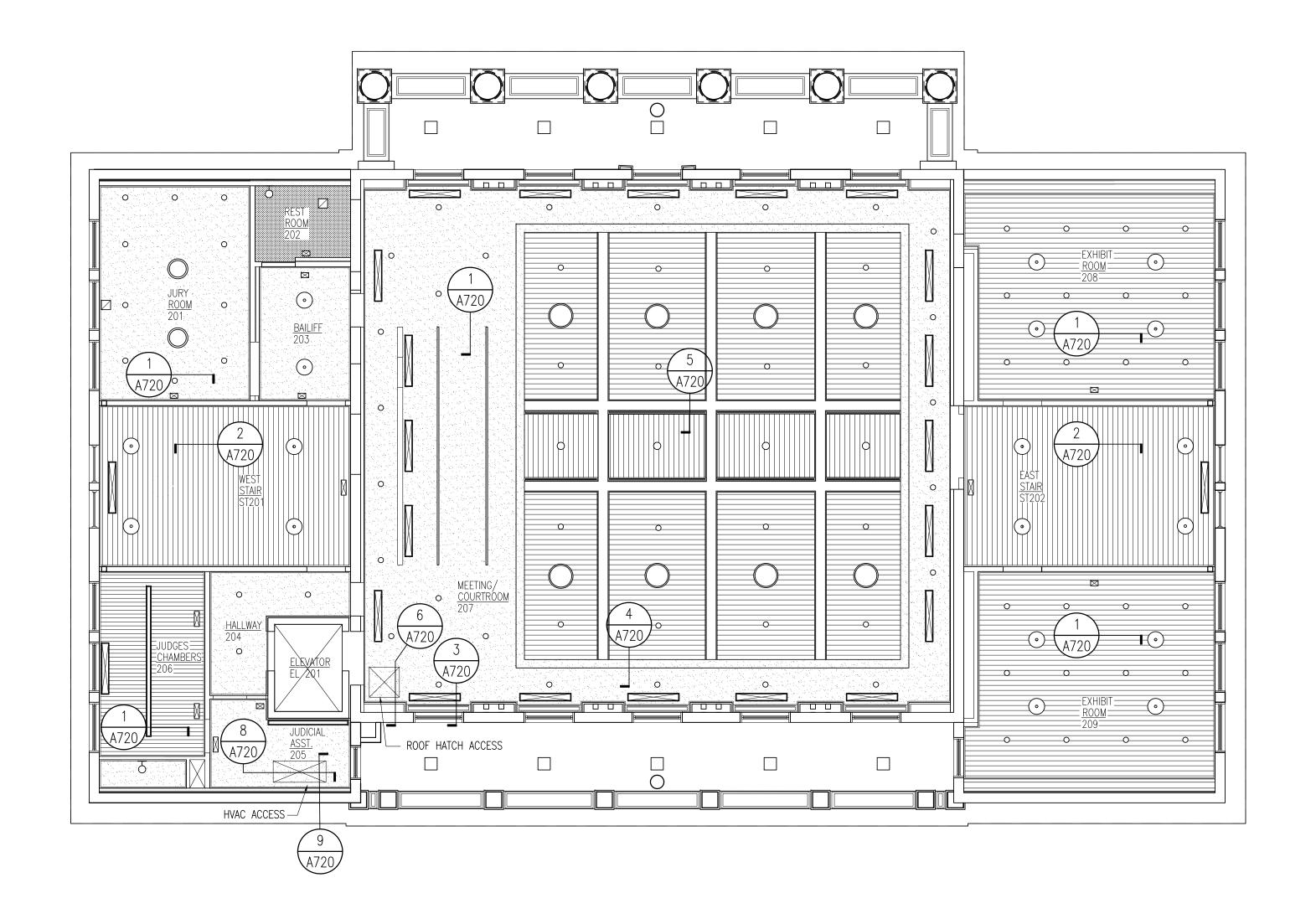
SHEET TITLE

FIRST FLOOR REFLECTED CEILING PLAN

SKC

REV NO

SHEET NO
A131





REFLE	CTED CEILING LEGEN	√D:		NOTE:
	TONGUE AND GROOVE WOOD CEILING	© CEILING MOUNTED LIGHT FIXTURE	RECESSED LINEAR FIXTURE	1. REFLECTED CEILING PLANS ARE TO SHOW VARIOUS MATERIAL FINISHES, CEILING DESIGN AND LOCATIONS
	GWB CEILING	PENDANT FIXTURE	FIRE ALARM STROBE	OF LIGHTING, MECHANICAL, FIRE SPRINKLERS, ETC. SEE THE APPLICABLE MECHANICAL, ELECTRICAL OR FIRE SPRINKLER DRAWINGS FOR ADDITIONAL
	GWD CEILING	O INCANDESCENT, FLUORESCENT	RETURN AIR TRANSFER	INFORMATION.
	GWB CEILING W/ EPOXY COAT	OR HID LIGHT FIXTURE OH WALL MOUNTED INCANDESCENT, FLUORESCENT OR HID LIGHT	LED FIXTURE	2. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION PLANS FOR SPECIFIC NOTES
	EXPOSED CEILING	FLUORESCENT OR HID LIGHT FIXTURE EXIT LIGHT	SUPPLY	REGARDING ALL DEVICES, FIXTURES, DIFFUSERS, GRILLES, ETC.
		EXII LIGHT		



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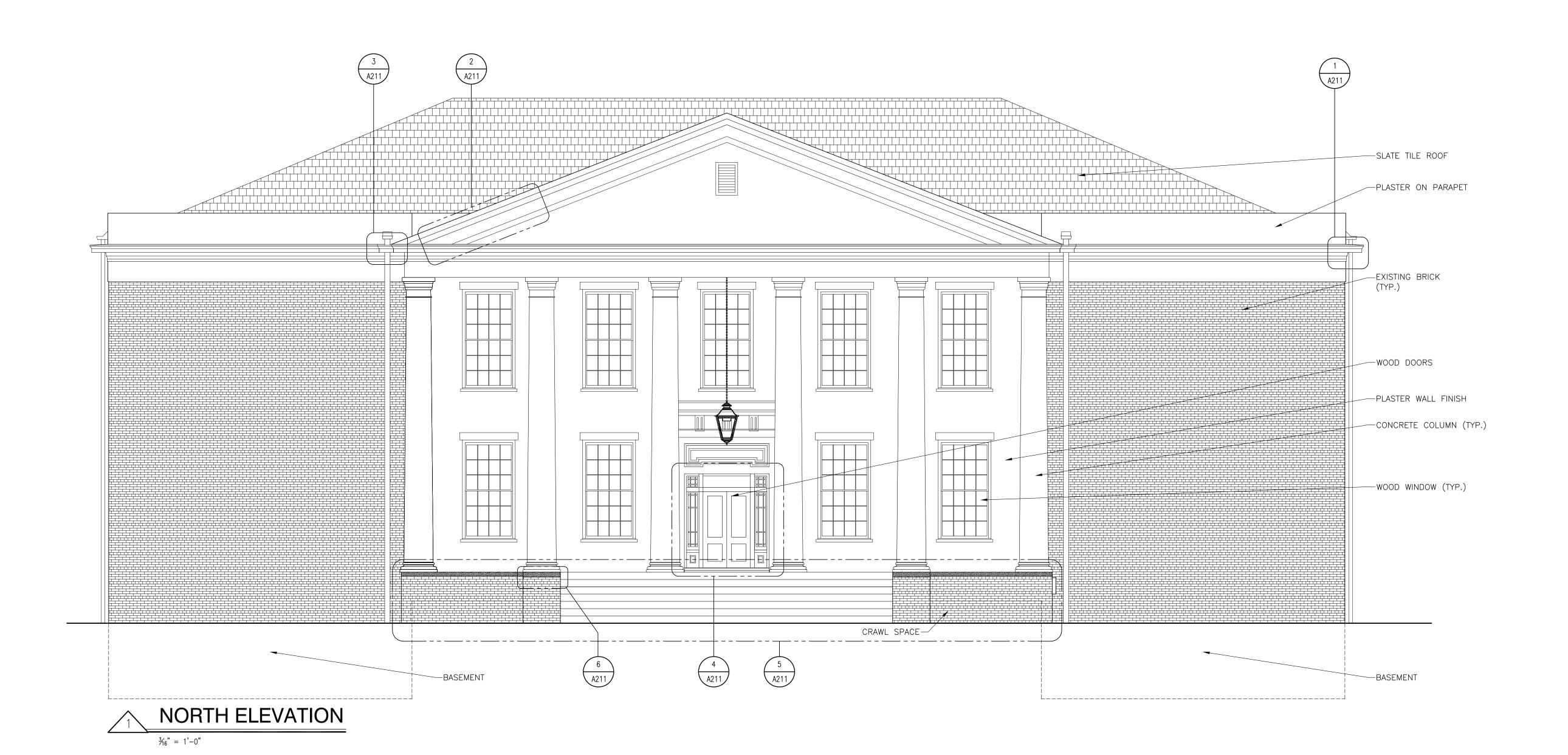
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RMP

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SHEET TITLE

SECOND FLOOR REFLECTED CEILING PLAN

SHEET NO REV NO A132



GENERAL CONSTRUCTION NOTES:

- PRESERVE/RESTORE EXTERIOR MASONRY:

 REFER TO GENERAL NOTES ON DEMOLITION SHEETS FOR PROPER CLEANING PROCEDURES TO PRESERVE/RESTORE EXTERIOR
- CLEAN AND REPOINT EXISTING MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION, SUCH AS CRACKS IN MORTAR JOINTS, DISINTEGRATING MORTAR AND LOOSE BRICKS.
- REMOVÉ DETERIORATED MORTAR BY HAND CAREFULLY TO AVOID DAMAGING THE EXISTING MASONRY. WHERE NECESSARY, HARD MORTAR MAY BE REMOVED BY SKILLED MASONS USING POWER TOOLS IN CONJUNCTION WITH CHISELING ON HORIZONTAL JOINTS
- CAULK AND SEAL EXTERIOR OPENINGS AFTER COMPLETION OF EXTERIOR MASONRY CLEANING. (WINDOWS AND DOORS TRIM TO EXISTING BRICK).
- PATCH HOLES IN EXTERIOR MASONRY AS A RESULT OF REMOVED HARDWARE AND EQUIPMENT.
- PRESERVE/RESTORE/RECONSTRUCT INTERIOR STAIRCASE(S):
 EXISTING STAIR TREADS, STAIR RISERS, RAILINGS, WAINSCOTING, NEWELL POST AND WOOD FLOORING TO BE REFINISHED TO
- ORIGINAL CONDITIONS.
- IDENTIFY, RETAIN AND PRESERVE WOOD FEATURES THAT ARE IMPORTANT TO DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING, AND THEIR PAINTS, FINISHES AND COLORS. EVALUATE THE OVERALL CONDITION OF THE WOOD TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE FROM FUTURE USE WILL BE NECESSARY, SUCH AS REPAIRS TO WOOD
- FEATURES.

 STABILIZE DETERIORATED OR DAMAGED WOOD AS PRELIMINARY MEASURE WHEN NECESSARY, PRIOR TO UNDERTAKING RESTORATION
- REPAIR OR REPLACE ONLY THE DETERIORATED WOOD, WHEN NECESSARY, AS A MEASURE TO PRESERVE THE HISTORIC FEATURES/CHARACTER OF THE ORIGINAL STRUCTURE. PROCEDURES FOR WOOD REPAIR INCLUDE PATCHING, SPLICING
- CONSOLIDATING, OR OTHERWISE REINFORCING THE WOOD USING ACCEPTABLE PRESERVATION METHODS. PREPARE WOOD INCLUDING SANDING TO RECEIVE FUTURE FINISHES
- COMPATIBLE PAINT COATING SYSTEMS TO HISTORICALLY—PAINTED WOOD FOLLOWING PROPER SURFACE PREPARATION.
- COORDINATE FINISHES AND SURFACE TREATMENTS WITH AOR PRIOR TO START OF RESTORATION EFFORTS. ADJACENT MATERIALS/SURFACES SHOULD BE PROTECTED WHEN WORKING ON WOOD FEATURES.
- REMOVE UNUSED NAILS, SCREWS OR PROTRUDING WIRES FROM AREAS OF MASONRY.
- 4. REPLACE BROKEN GLAZING PANELS.



ARCHITECTURE PLANNING INTERIORS GRAPHICS

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HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME: **Jefferson County Board of County Commissonioners** MONTICELLO, FLORIDA

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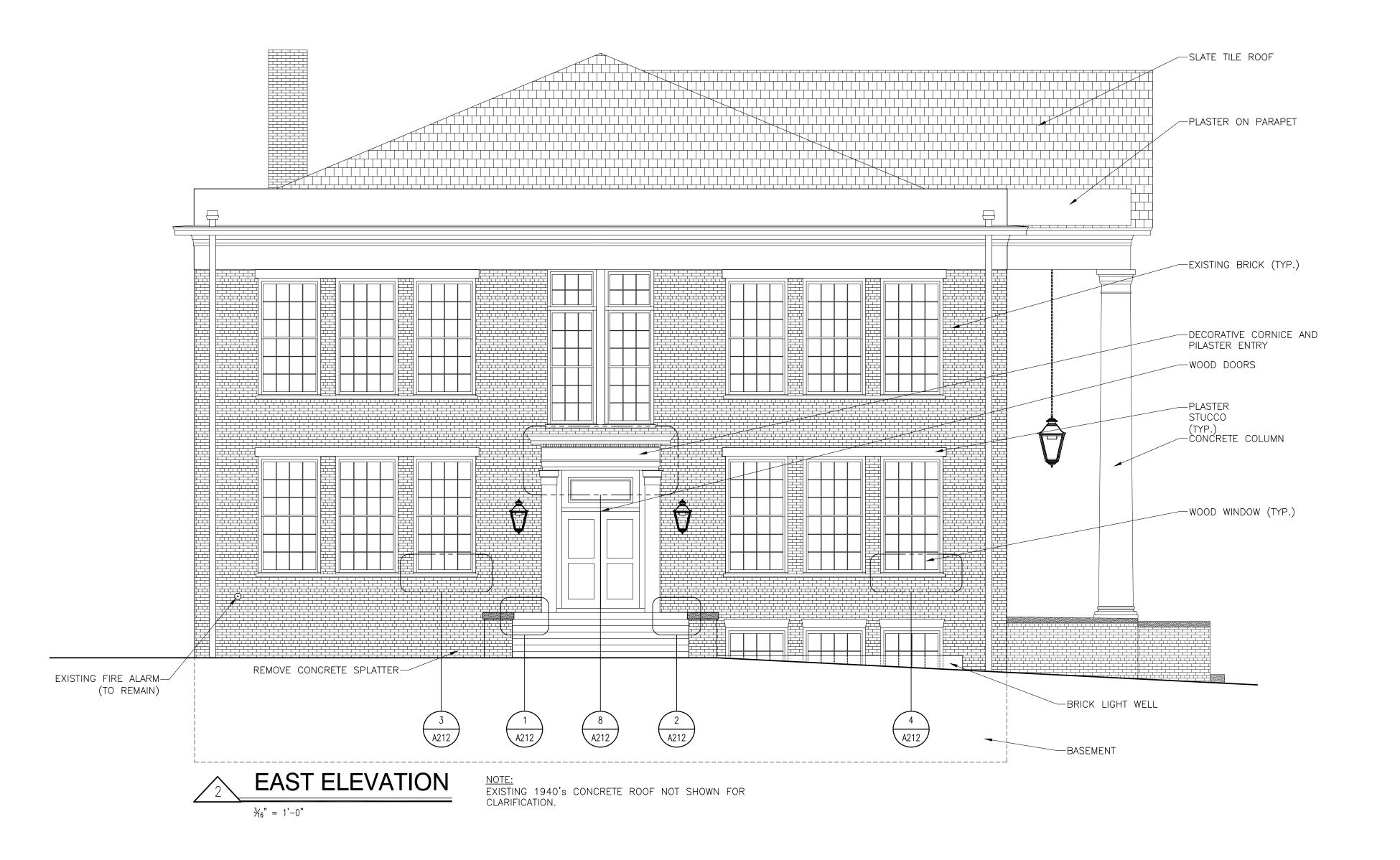
PROJECT PHASE 100% CONSTRUCTION DOCUMENTS

DRAWN BY 01 AUGUST 2019

RMP PROJECT NO CHECKED BY SKC

SHEET TITLE

NORTH ELEVATION



GENERAL CONSTRUCTION NOTES:

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- TO START OF RESTORATION EFFORTS.
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- REMOVE UNUSED NAILS, SCREWS OR PROTRUDING WIRES FROM
- AREAS OF MASONRY.
- 4. REPLACE BROKEN GLAZING PANELS.



ARCHITECTURE PLANNING INTERIORS GRAPHICS

ELICTT MARSHALL INNES PA. (EMI prohibidil) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442 WWW.emicrch.com UCENSE #s AN C00040P IS C000153

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Florida Department of State **Division of Historical Resources**

HISTORIC JEFFERSON **COUNTY HIGH SCHOOL** RESTORATION

MONTICELLO, FLORIDA

OWNER NAME: **Jefferson County Board of County Commissonioners** MONTICELLO, FLORIDA

	,	
REV	DATE	DESCRIPTION

PROJECT PHASE 100% CONSTRUCTION DOCUMENTS

PROJECT NO

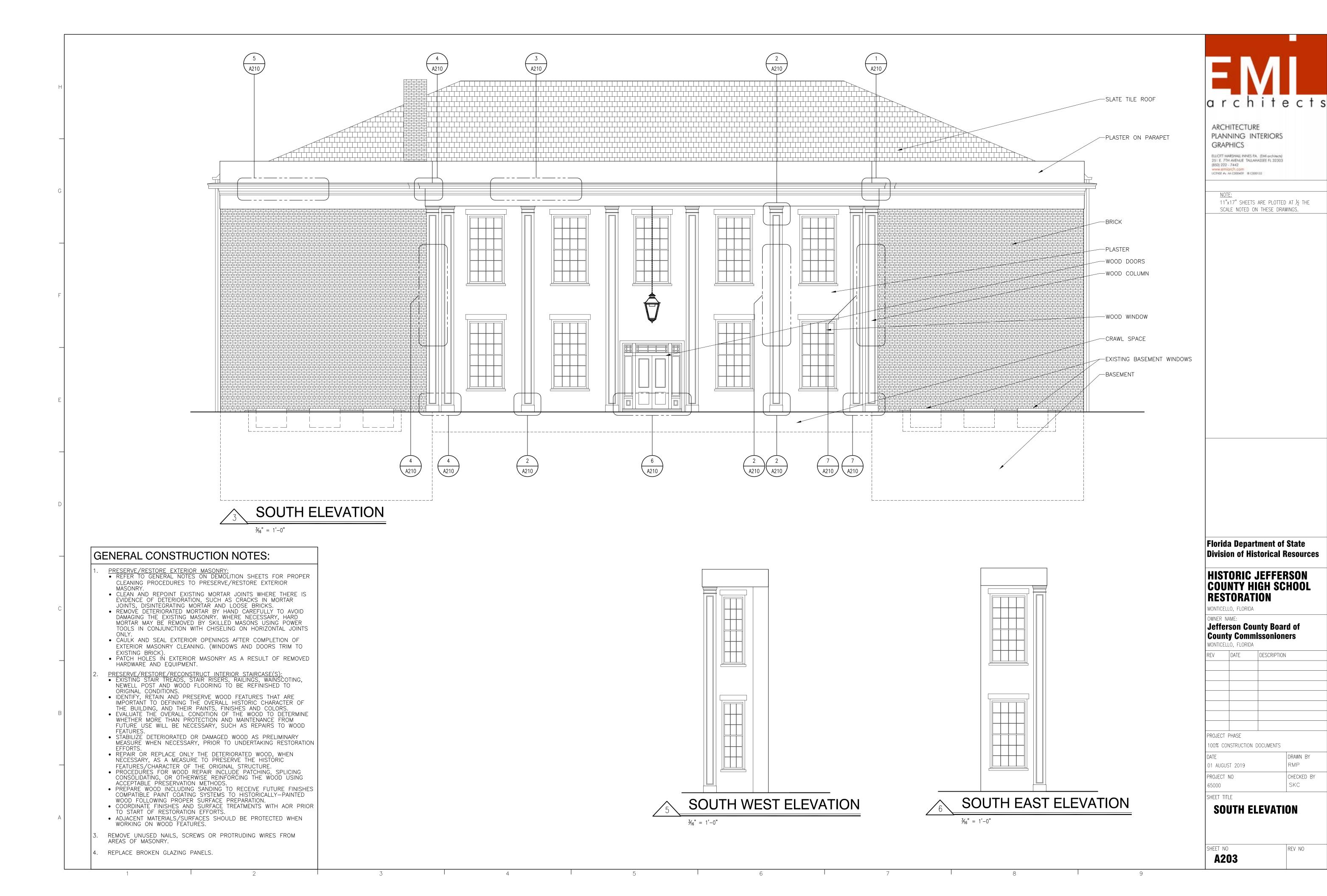
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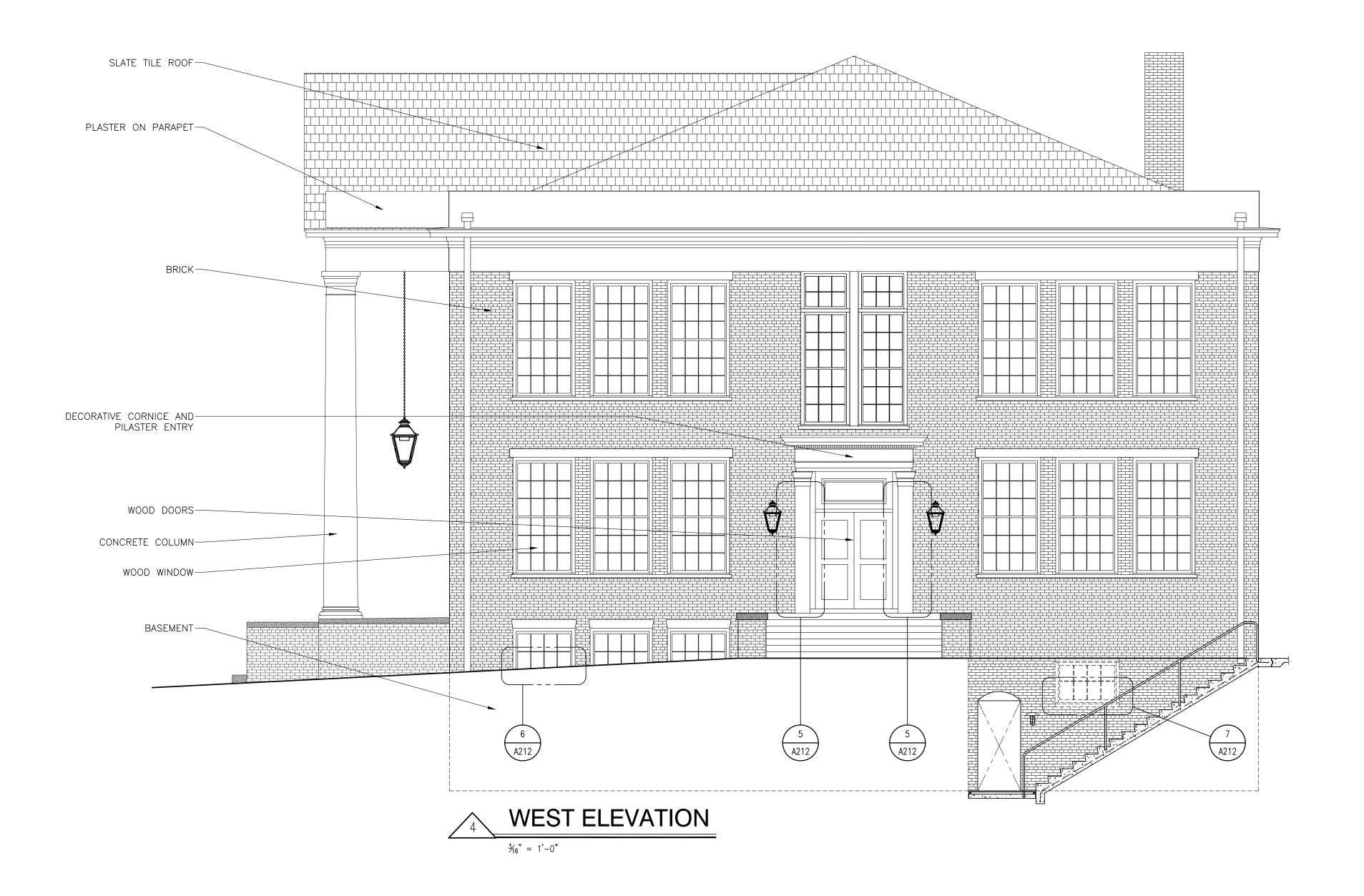
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SKC

SHEET TITLE

EAST ELEVATION





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- TO START OF RESTORATION EFFORTS. ADJACENT MATERIALS/SURFACES SHOULD BE PROTECTED WHEN WORKING ON WOOD FEATURES.
- REMOVE UNUSED NAILS, SCREWS OR PROTRUDING WIRES FROM AREAS OF MASONRY.
- 4. REPLACE BROKEN GLAZING PANELS.



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Florida Department of State **Division of Historical Resources**

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME: **Jefferson County Board of County Commissonioners**

MONTICELLO, FLORIDA		
REV	DATE	DESCRIPTION

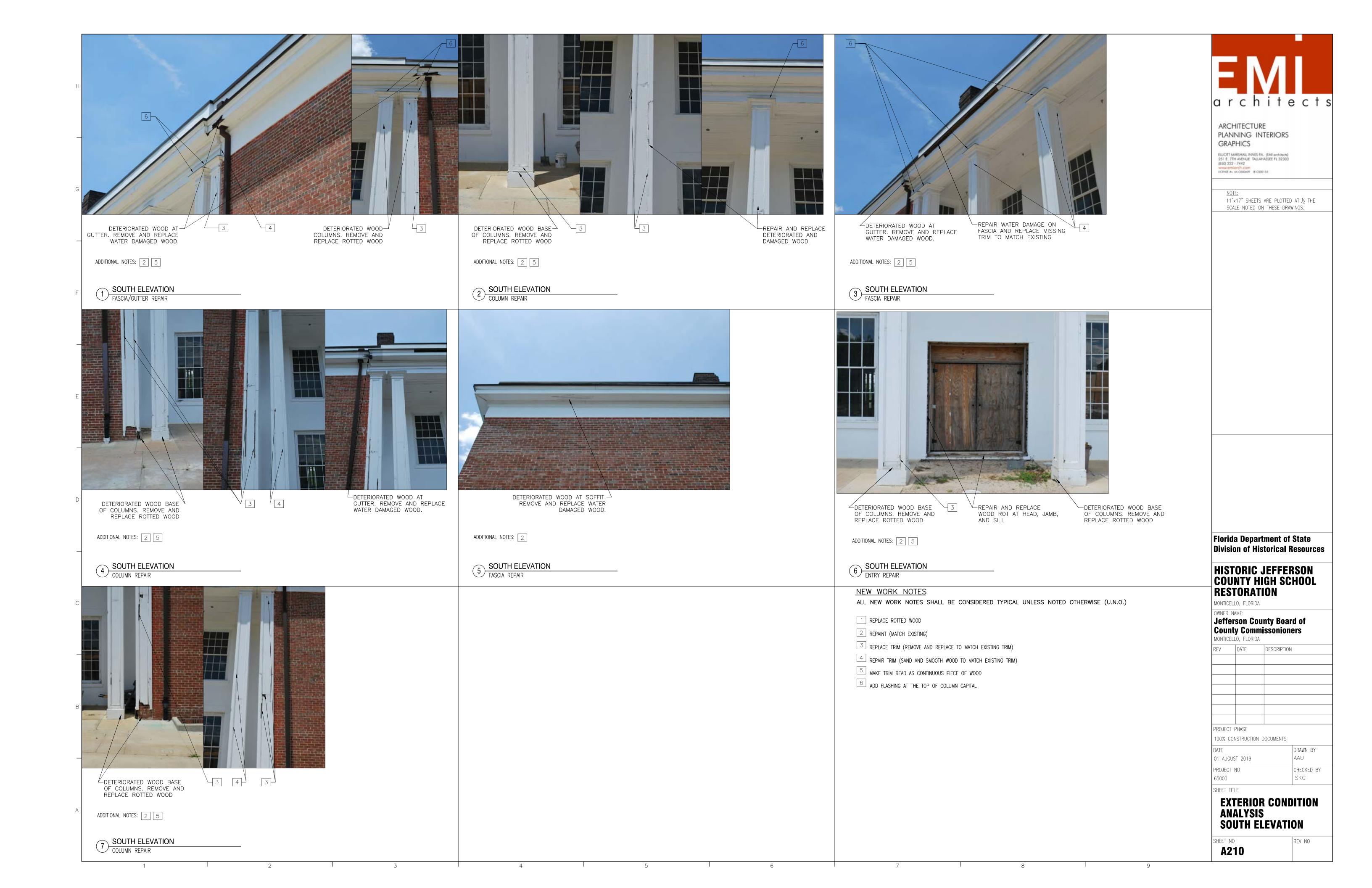
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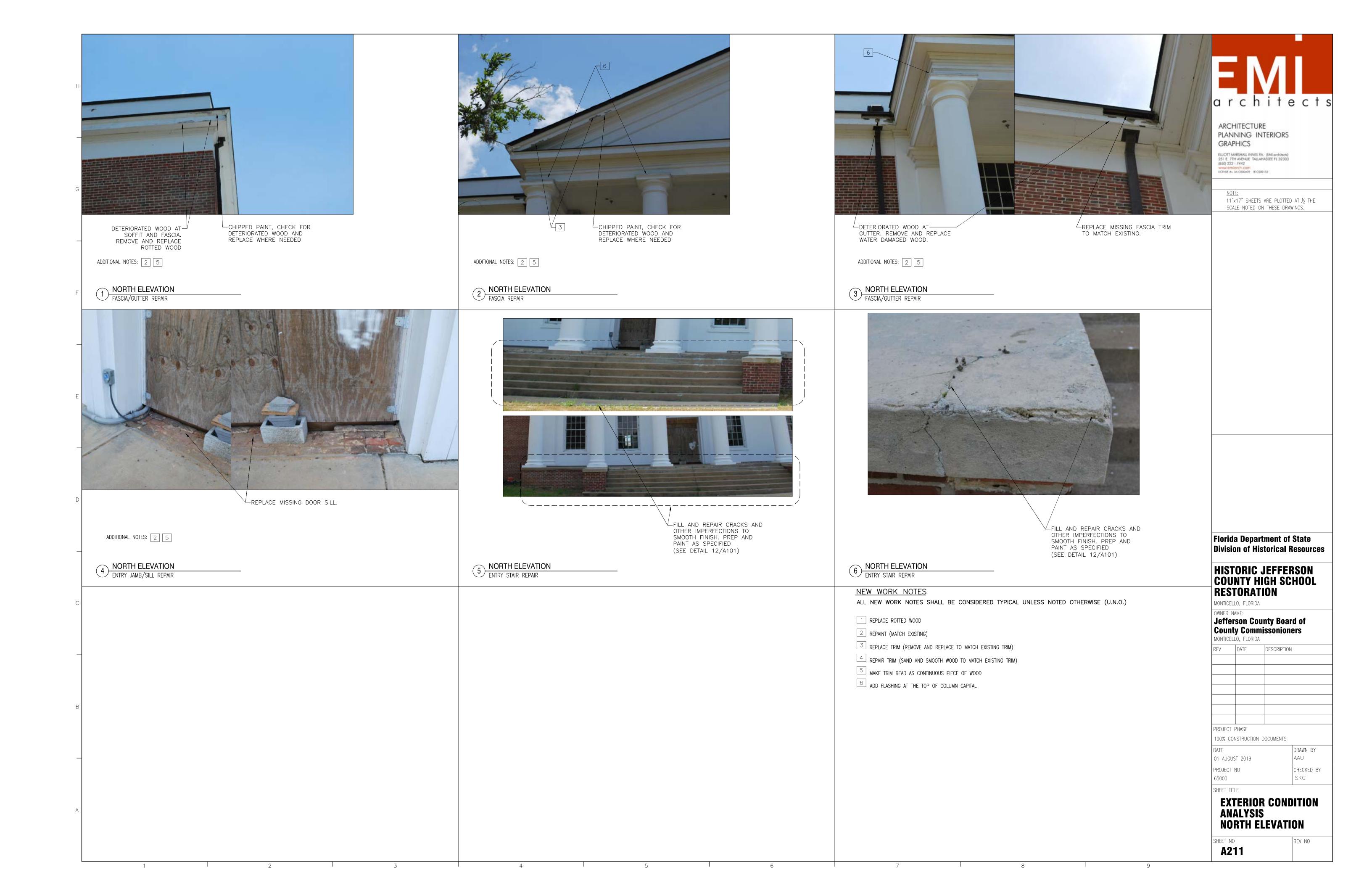
100% CONSTRUCTION DOCUMENTS

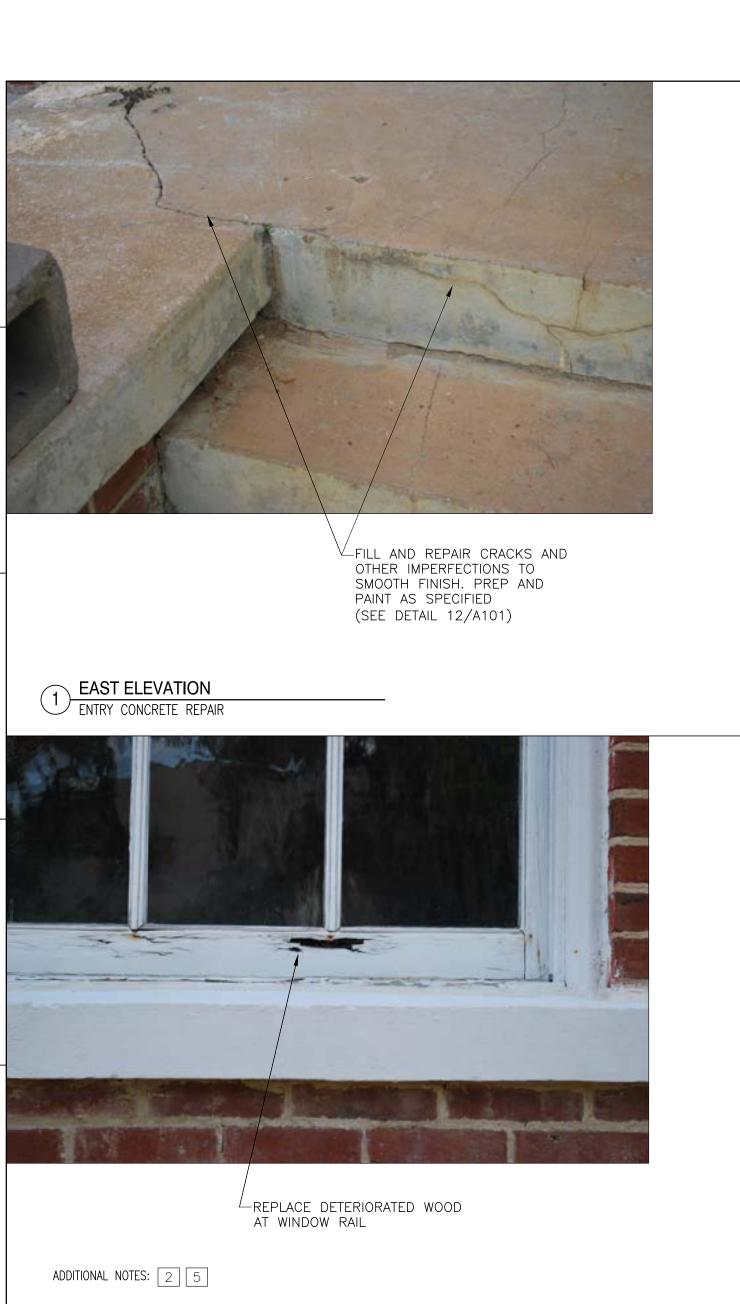
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SHEET TITLE

WEST ELEVATION







REPLACE DETERIORATED WOOD AT WINDOW SILL

ADDITIONAL NOTES: 2 5

4 EAST ELEVATION WINDOW SILL REPAIR

WEST ELEVATION WINDOW SILL REPAIR



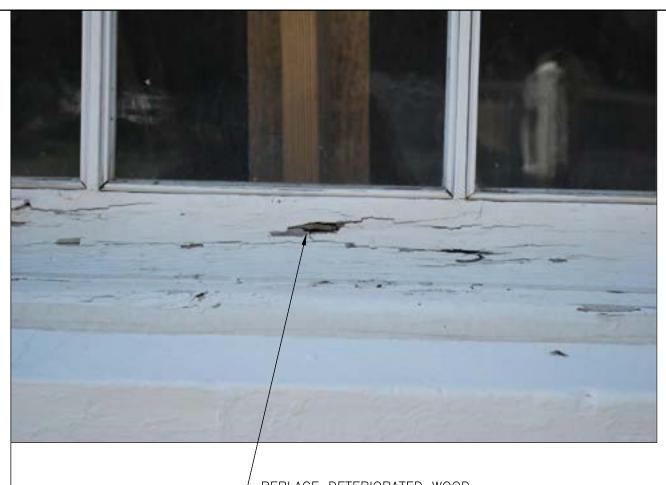
-FILL AND REPAIR CRACKS AND OTHER IMPERFECTIONS TO SMOOTH FINISH. PREP AND PAINT AS SPECIFIED (SEE DETAIL 12/A101)

2 EAST ELEVATION
ENTRY CONCRETE REPAIR

ADDITIONAL NOTES: 2 5

WEST ELEVATION

ENTRY REPAIR



PREPLACE DETERIORATED WOOD AT WINDOW RAIL

ADDITIONAL NOTES: 2 5

3 EAST ELEVATION WINDOW SILL REPAIR



-REPLACE DETERIORATED WOOD AT WINDOW RAIL

ADDITIONAL NOTES: 2 5

WEST ELEVATION
WINDOW REPAIR

NEW WORK NOTES

ALL NEW WORK NOTES SHALL BE CONSIDERED TYPICAL UNLESS NOTED OTHERWISE (U.N.O.)

1 REPLACE ROTTED WOOD

2 REPAINT (MATCH EXISTING)

3 REPLACE TRIM (REMOVE AND REPLACE TO MATCH EXISTING TRIM)

4 REPAIR TRIM (SAND AND SMOOTH WOOD TO MATCH EXISTING TRIM)

MAKE TRIM READ AS CONTINUOUS PIECE OF WOOD

6 ADD FLASHING AT THE TOP OF COLUMN CAPITAL

Florida Department of State **Division of Historical Resources**

architects

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ARCHITECTURE

GRAPHICS

PLANNING INTERIORS

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HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME: Jefferson County Board of County Commissonioners MONTICELLO, FLORIDA

DESCRIPTION

PROJECT PHASE 100% CONSTRUCTION DOCUMENTS

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AAU 01 AUGUST 2019 PROJECT NO CHECKED BY SKC

SHEET TITLE

EXTERIOR CONDITION ANALYSIS EAST/WEST ELEVATION

A212

REMOVE COLUMNS/AWNING AND REBUILD DECORATIVE CORNICE AND PILASTER ENTRY.

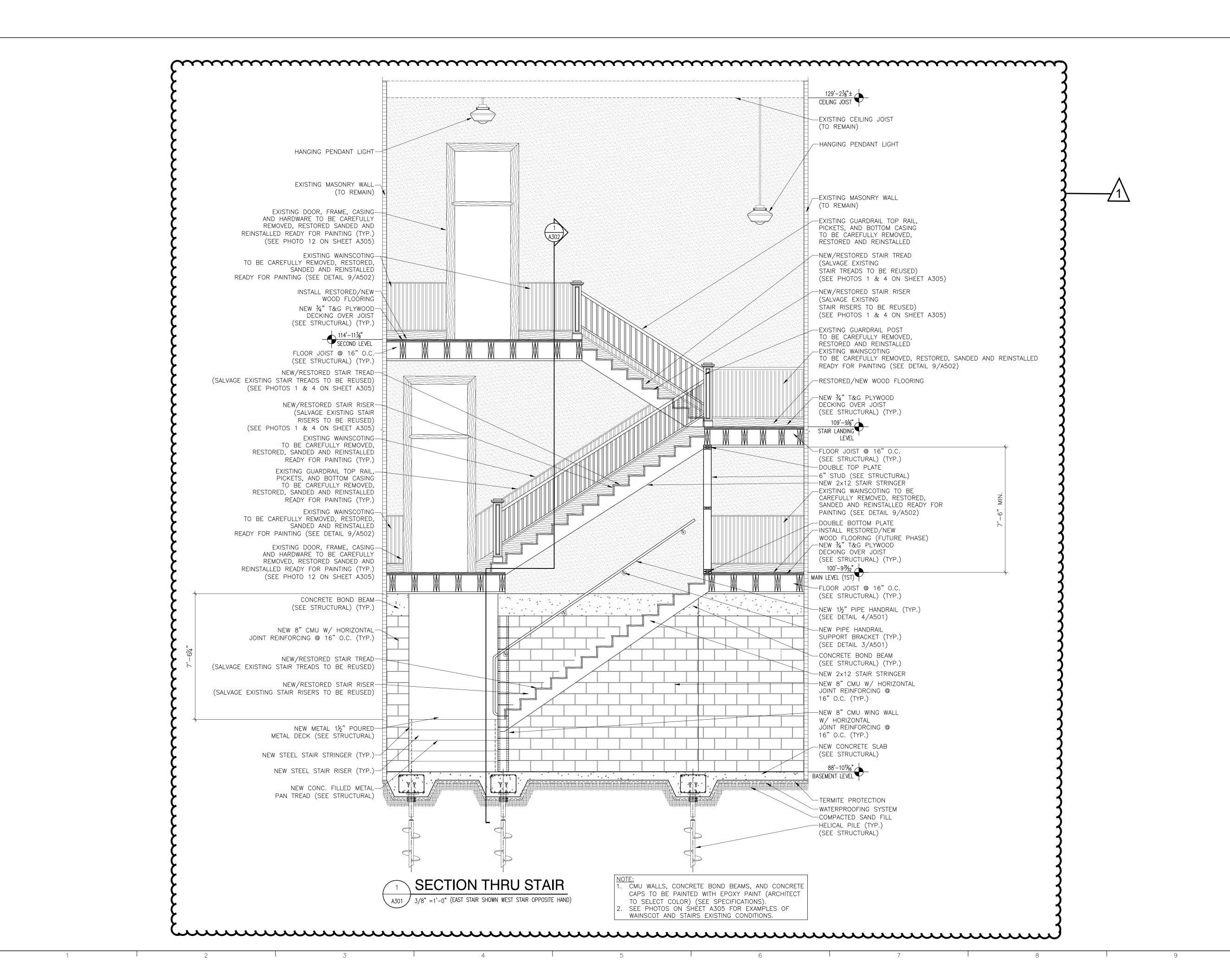
CLEAN PAINT AND OTHER
RESIDUE OFF OF BRICK TO
MATCH EXISTING

CLEAN PAINT AND OTHER RESIDUE OFF OF BRICK TO REBUILD DECORATIVE CORNICE AND PILASTER ENTRY.

ADDITIONAL NOTES: 2 5

REMOVE METAL AWNING AND REBUILD DECORATIVE CORNICE AND PILASTER ENTRY.

8 EAST ELEVATION ENTRY REPAIR





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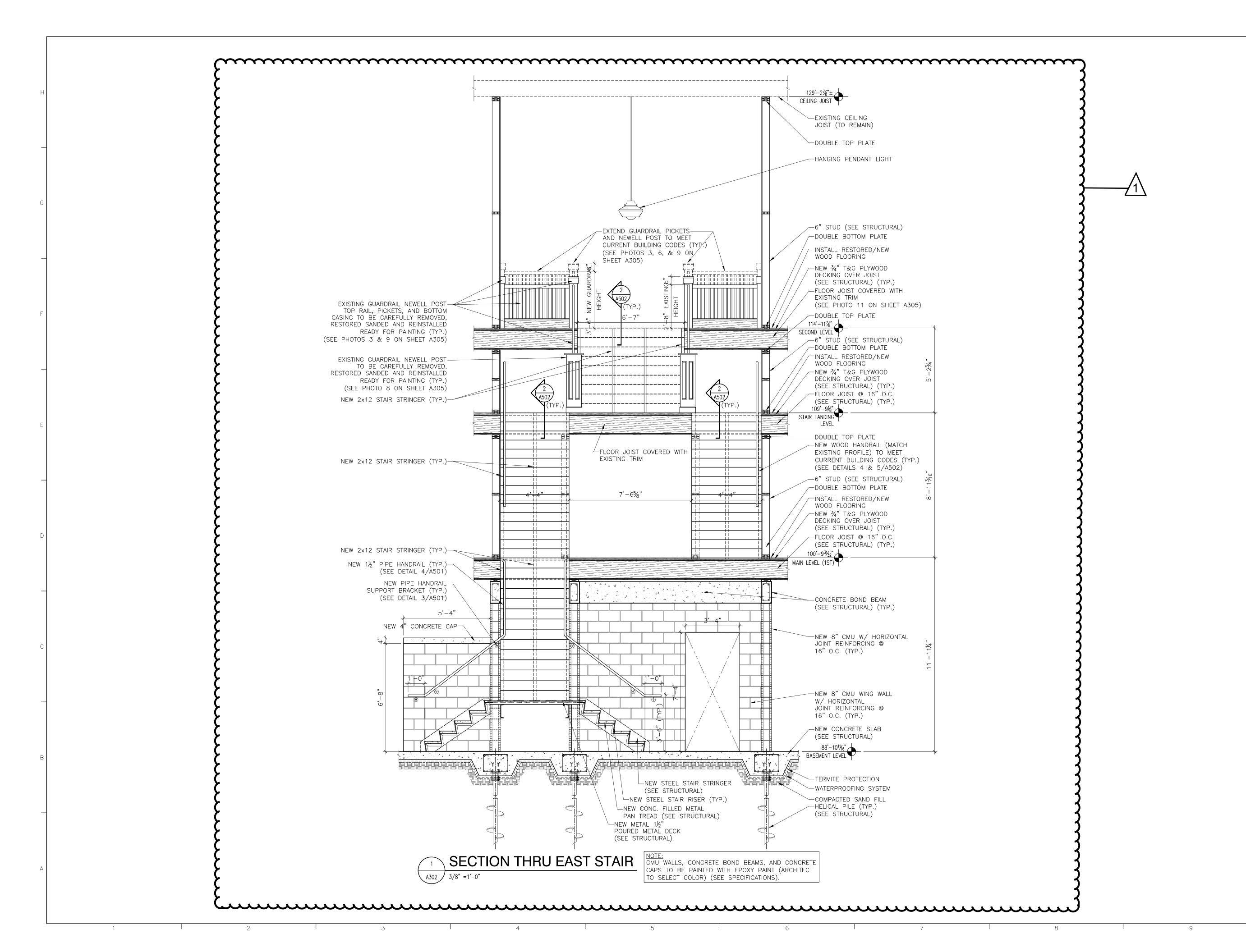
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SKC

SHEET TITLE

STAIR SECTION

SHEET NO REV NO





ELIIOTT MARSHAU, INNES PA. (EMI orchaech) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442 www.emiorch.com ICDISE #1 AI C000409 IE C000151

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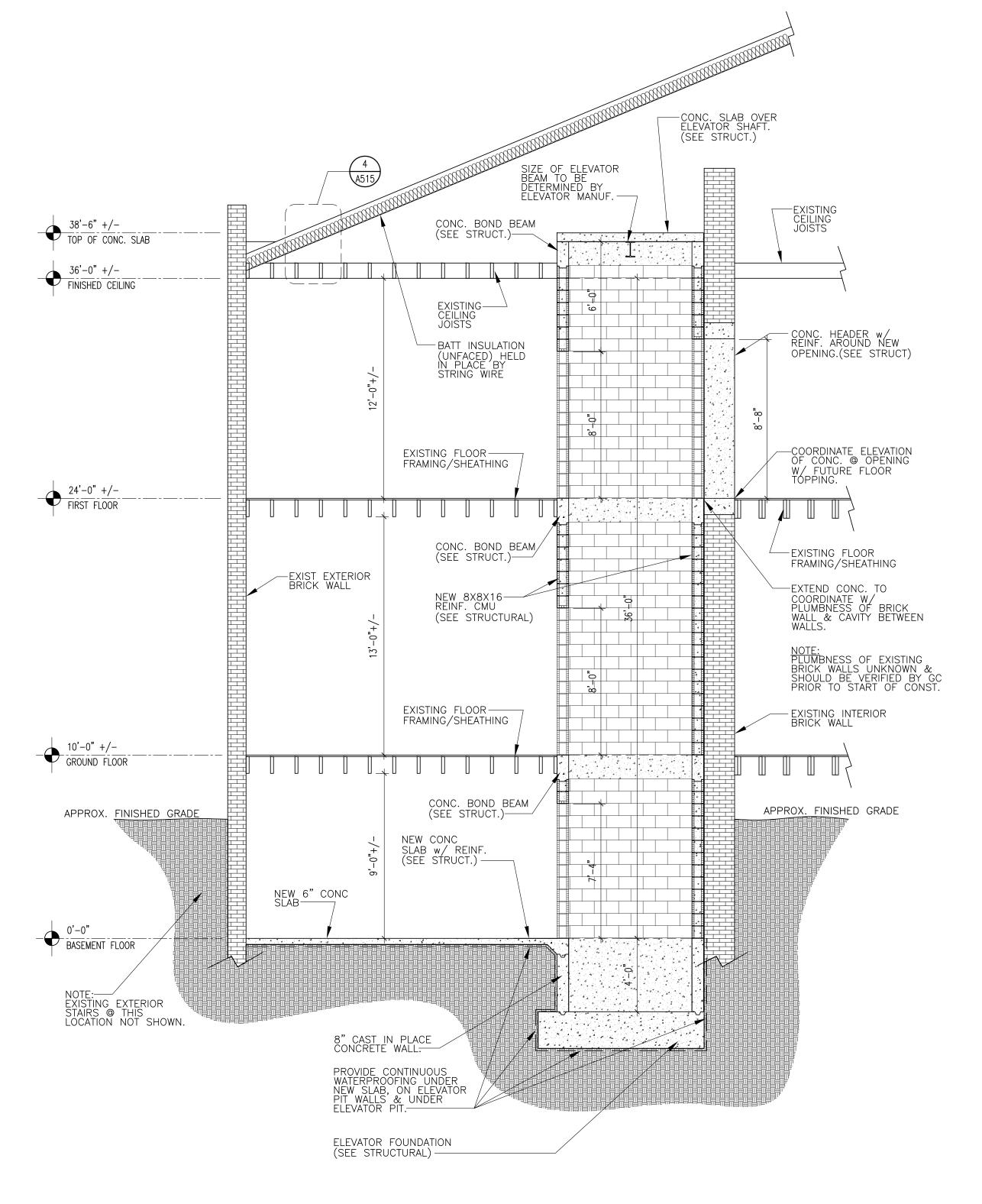
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SHEET TITLE

STAIR SECTION

SHEET NO REV NO



SECTION TRU ELEVATOR SHAFT

A303 1/4" = 1'-0" architects

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HISTORIC JEFFERSON **COUNTY HIGH SCHOOL** RESTORATION

MONTICELLO, FLORIDA

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MONTICELLO, FLORIDA

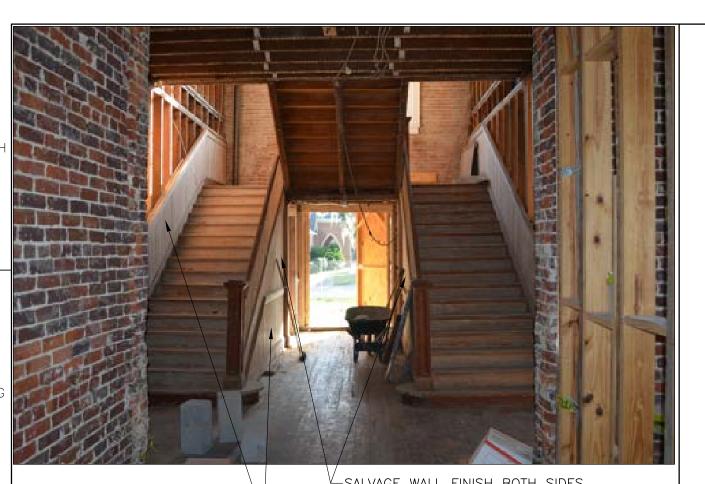
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PROJEC	T PHASE	

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SHEET TITLE

ELEVATOR SHAFT SECTION



V_SALVAGE WALL FINISH BOTH SIDES REINSTALL AFTER RECONSTRUCTION OF STAIRS -WAINSCOT TO BE SALVAGED AND REINSTALLED (TYP.)



-WAINSCOT TO BE SALVAGED AND REINSTALLED (TYP.)

-STAIR TREAD TO BE SALVAGED AND REINSTALLED -STAIR RISER TO BE

-NEWELL POST TO BE SALVAGED AND REINSTALLED (TYP.)

REINSTALLED (TYP.)

SALVAGED AND



WAINSCOT TO BE SALVAGED AND REINSTALLED (TYP.)

—EXISTING GUARDRAIL NEWELL POST TOP RAIL, PICKETS, AND BOTTOM CASING TO BE CAREFULLY REMOVED, RESTORED SANDED AND REINSTALLED READY FOR PAINTING (TYP.)







ANCHITECTURE

GRAPHICS

PLANNING INTERIORS

As AA C00040P # C000153

MARSHALL INNES PA. (EMI orchitects) 7TH AVENUE TALLAHASSEE FL 32303

11"x17" SHEETS ARE PLOTTED AT ½ THE SCALE NOTED ON THESE DRAWINGS.









EXISTING BASEMENT STAIRS

A302 N.T.S.

PHOTO 2

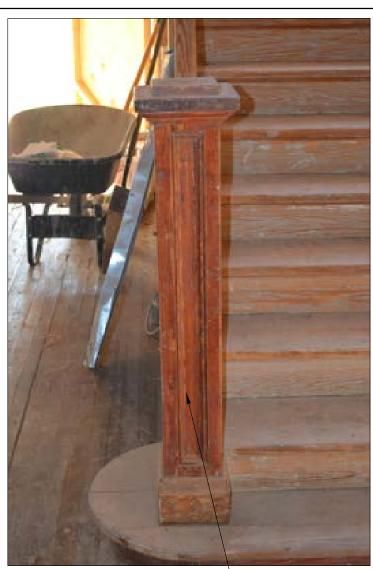


PHOTO 5 A302 N.T.S.



8 PHOTO 8 A302 N.T.S.



PHOTO 10

REINSTALLED (TYP.) STAIR RISER TO BE SALVAGED AND

EXISTING GUARDRAIL NEWELL POST TOP RAIL, PICKETS, AND BOTTOM CASINGTO BE CAREFULLY REMOVED, RESTORED SANDED AND REINSTALLED READY FOR PAINTING

REINSTALLED (TYP.) PHOTO 11





Jefferson County Board of

MONTRELLO, FLORIDA				
REV 3)	DATE	DESCRIPTION	
1)	04/20/2023	HURRICANE MICHAEL	
)		GRANT	
)			
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ROJECT PHASE 00% ONSTRUCTION DOCUMENTS

RMP CHECKED BY SKC

EXISTING STAIR PHOTOS

REV NO

EXISTING DOOR, FRAME,
CASING AND HARDWARE TO
BE CAREFULLY REMOVED,
RESTORED SANDED AND
REINSTALLED READY FOR
PAINTING (TYP.)



—EXISTING NEWELL POST AT WALL ON 2ND LEVEL



MAIN LEVEL (1ST) NEWELL POST

EXISTING LANDING AT 2ND LEVEL

A302 N.T.S.



LANDING NEWELL POST

EXISTING GUARDRAIL AT 2ND LEVEL

EXISTING GUARDRAIL NEWELL
POST TOP RAIL, PICKETS, AND
BOTTOM CASING TO BE
CAREFULLY REMOVED, RESTORED
SANDED AND REINSTALLED READY
FOR PAINTING (TYP.)



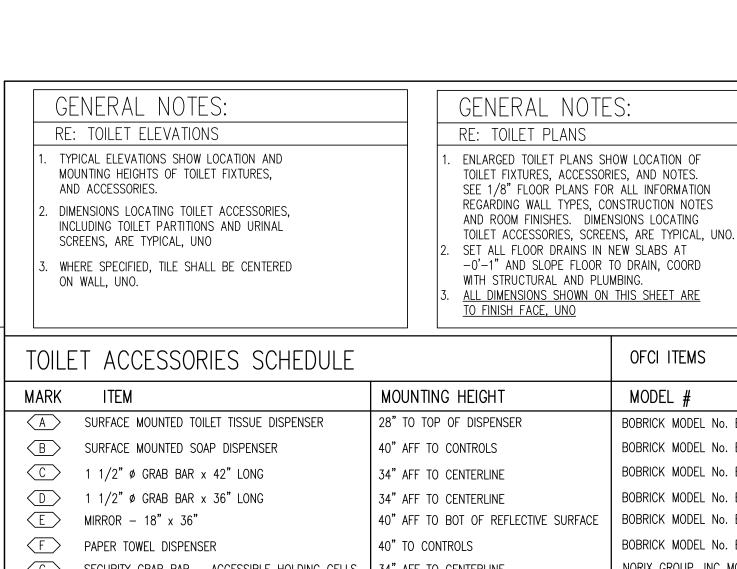


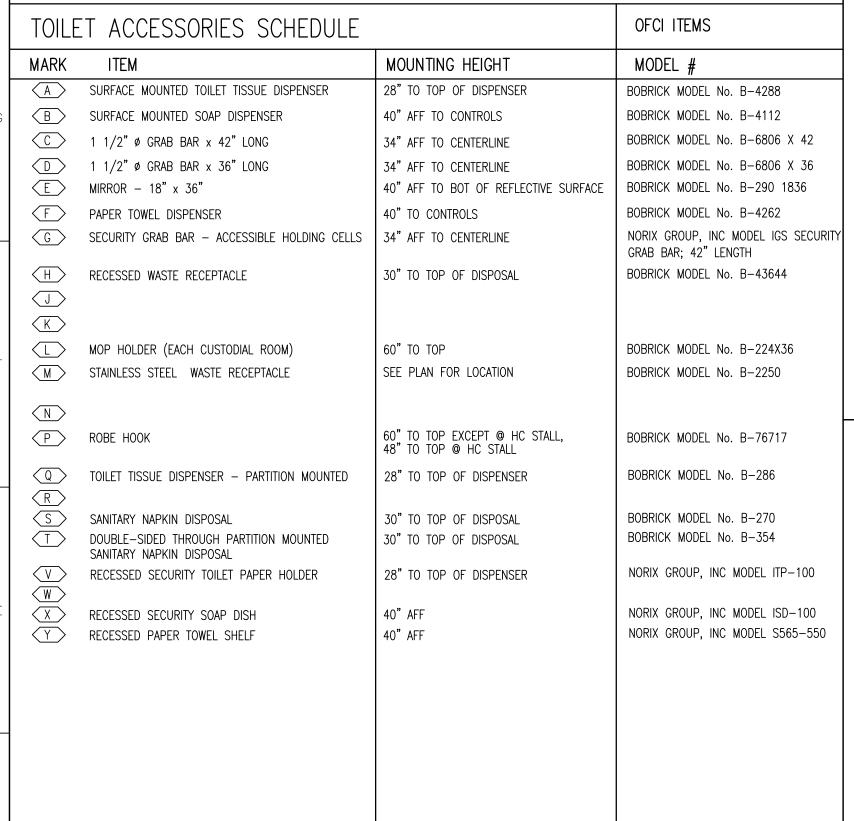
PHOTO 12 A302 N.T.S.

A302 N.T.S.

3 PHOTO 3 A302 N.T.S.

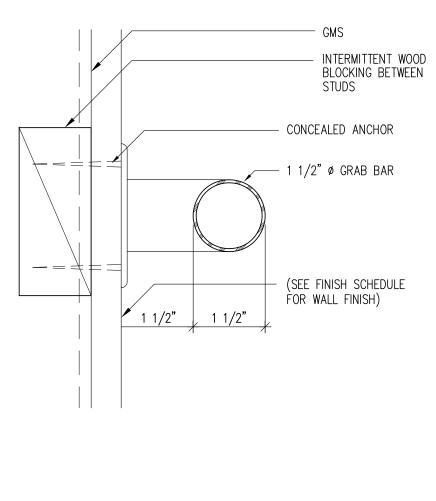
PHOTO 6



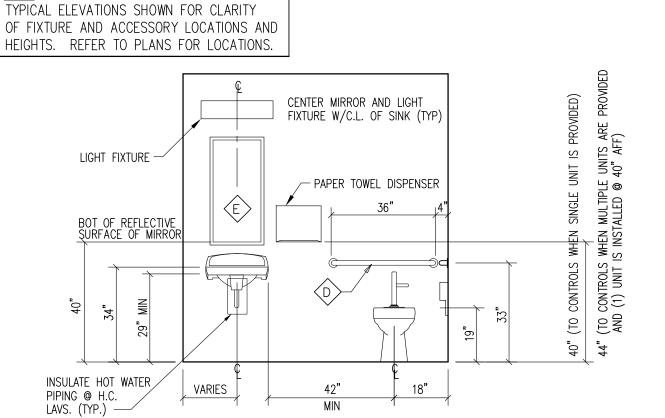


NOTES:

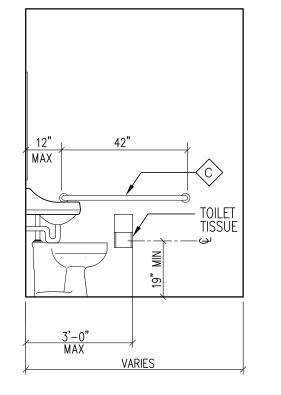
- INSULATE ALL EXPOSED HOT WATER PIPING AT HANDICAP LOCATIONS.
- 2. LAVATORIES SHALL BE MOUNTED WITH THE BOTTOM OF LAVATORY APRON AT 2'-5" AFF. 3. MIRRORS SHALL BE CENTERED OVER SINKS, UNO.
- 4. ACCESSIBLE TOILETS SHALL MEET REQUIREMENTS OF THE FLORIDA BUILDING CODE, SIXTH EDITION (2017).
- 5. SHOULD ANY DISCREPANCY BE FOUND BETWEEN ITEMS NOTED IN THE CONTRACT DOCUMENTS AND APPLICABLE CODES, THE CONTRACTOR SHALL BRING ITEMS TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING, FABRICATING OR INSTALLING TOILET FIXTURES OR ACCESSORIES.
- 6. PROVIDE COAT HOOKS ON THE INSIDE OF STALL DOORS, TYP.
- 7. IF A CONFLICT EXISTS BETWEEN ANY TOILET FIXTURE AND A TOILET ACCESSORY, NOTIFY THE ARCHITECT PRIOR TO INSTALLATION FOR DIRECTION.
- 8. ALL DOORS TO HANDICAP ACCESSIBLE TOILET STALLS SHALL BE OUTWARD SWINGING AND SELF CLOSING, UNO.
- 9. PROVIDE DOOR STOPS FOR ALL PARTITION DOORS (REFER TO SECTION 10 21 13 TOILET COMPARTMENTS.)
- 10. DO NOT RECESS TOILET ACCESSORIES IN FIRE RATED PARTITIONS.



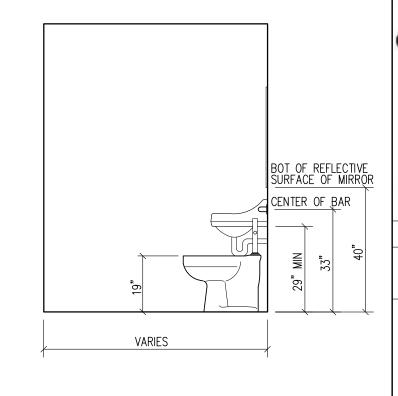
GRAB BAR @ GWB MOUNTING DTL (TYP) \bigwedge A401 \int 6"=1'-0"



TYPICAL ELEVATION 3/8"=1'-0"

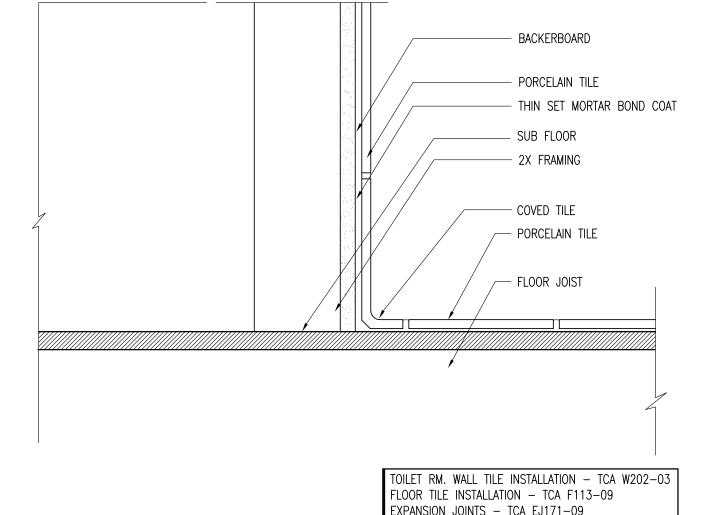


TYPICAL ELEVATION 3/8"=1'-0"

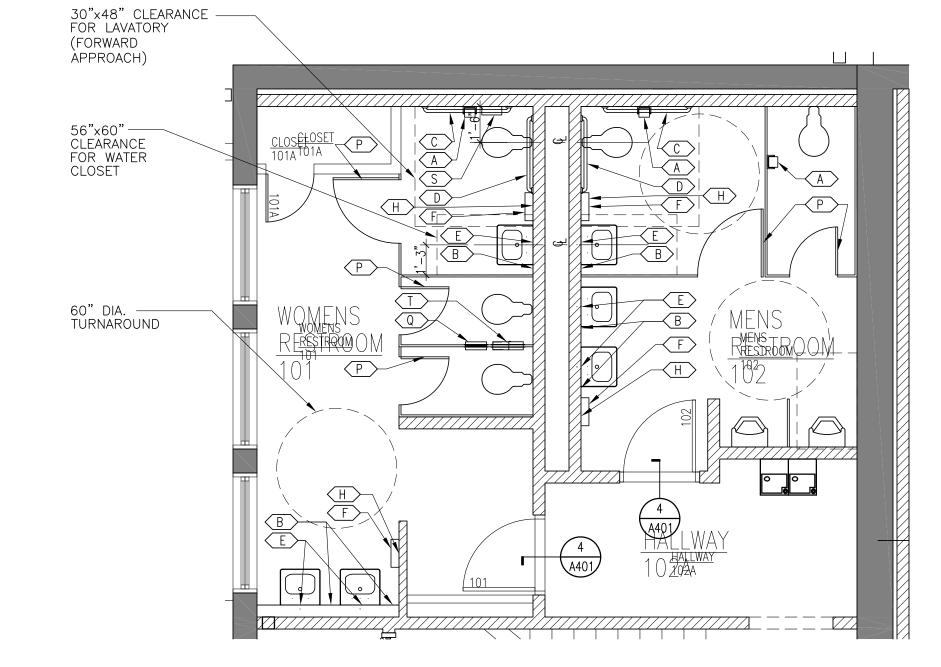


TYPICAL ELEVATION 3/8"=1'-0"

HOLDING
CELL
002







RESTROOMS 101 AND 102 $\sqrt{A401} \int 1/4^{-1} - 0^{-1}$

Florida Department of State **Division of Historical Resources** RESTORATION

ARCHITECTURE

www.emiorch.com IICBHS #1 AK C000409 # C000153

GRAPHICS

PLANNING INTERIORS

ELIIOTT MARSHAUL INNES PA. (EMI orchaech) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442

11"x17" SHEETS ARE PLOTTED AT 1/2 THE SCALE NOTED ON THESE DRAWINGS.

HISTORIC JEFFERSON COUNTY HIGH SCHOOL

MONTICELLO, FLORIDA

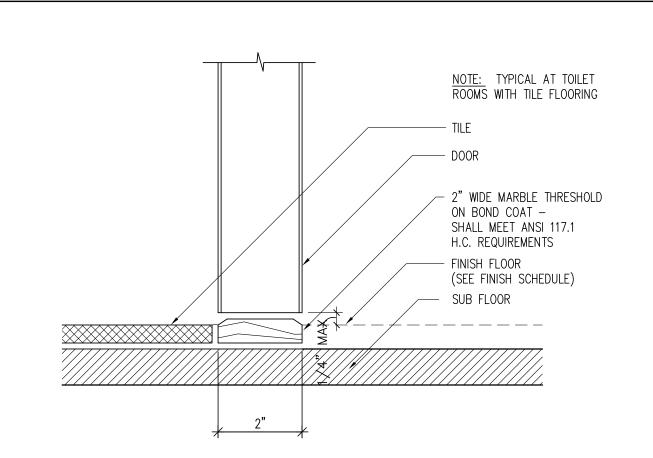
OWNER NAME: **Jefferson County Board of County Commissonioners**

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PROJECT F	PHASE			
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DATE			DRAWN	BY

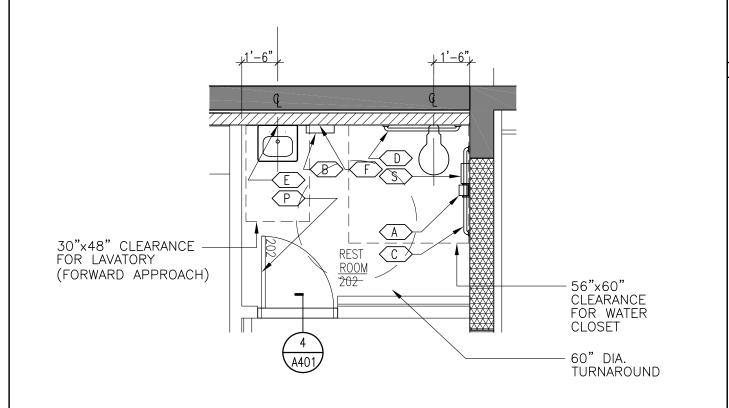
RMP 01 AUGUST 2019 PROJECT NO CHECKED BY SKC

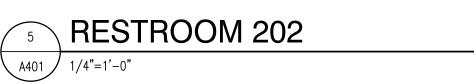
RESTROOM ENLARGED PLANS & ELEVATIONS

REV NO A401

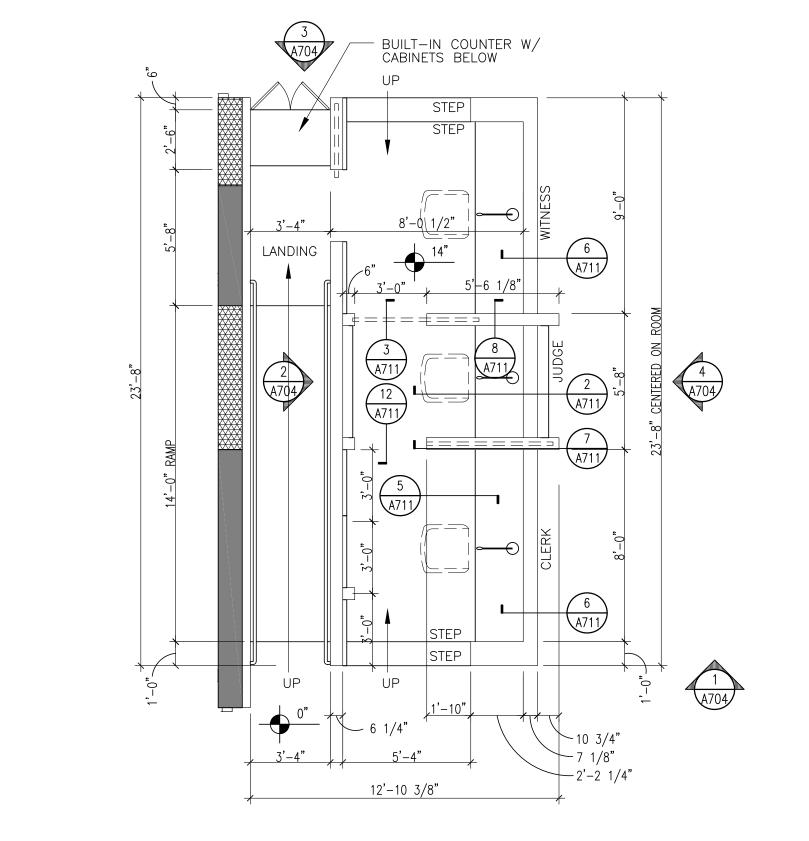


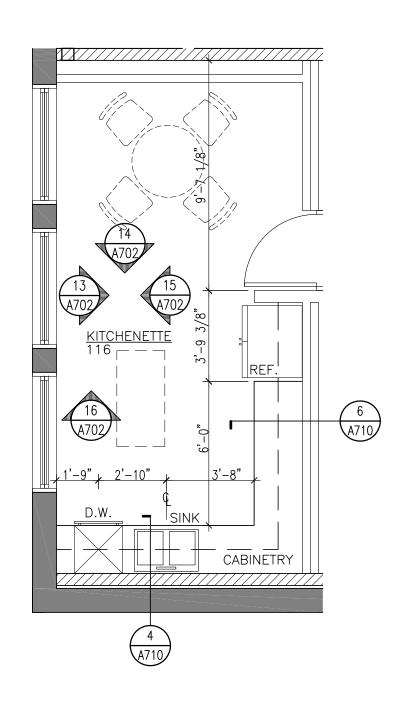


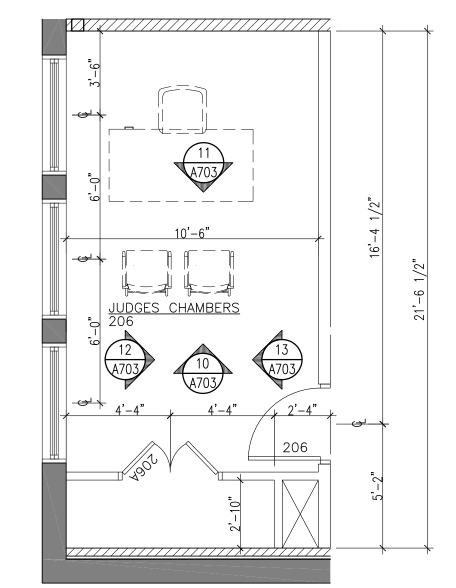




HOLDING CELL RESTROOMS A401 1/4"=1'-0"









Florida Department of State Division of Historical Resources

architects

NOTE: 11"x17" SHEETS ARE PLOTTED AT ½ THE SCALE NOTED ON THESE DRAWINGS.

ARCHITECTURE

GRAPHICS

PLANNING INTERIORS

ELLIOTT MARSHALL INNES PA. (EMI prohiech)
251 E. 7TH AVENUE TALLAHASSEE FL 32303
(850) 222 - 7442
www.emiorch.com
UCRSE #s As C000409 (6 C00013)

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME:
Jefferson County Board of
County Commissonioners
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION	
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DATE
01 AUGUST 2019

PROJECT NO
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SKC

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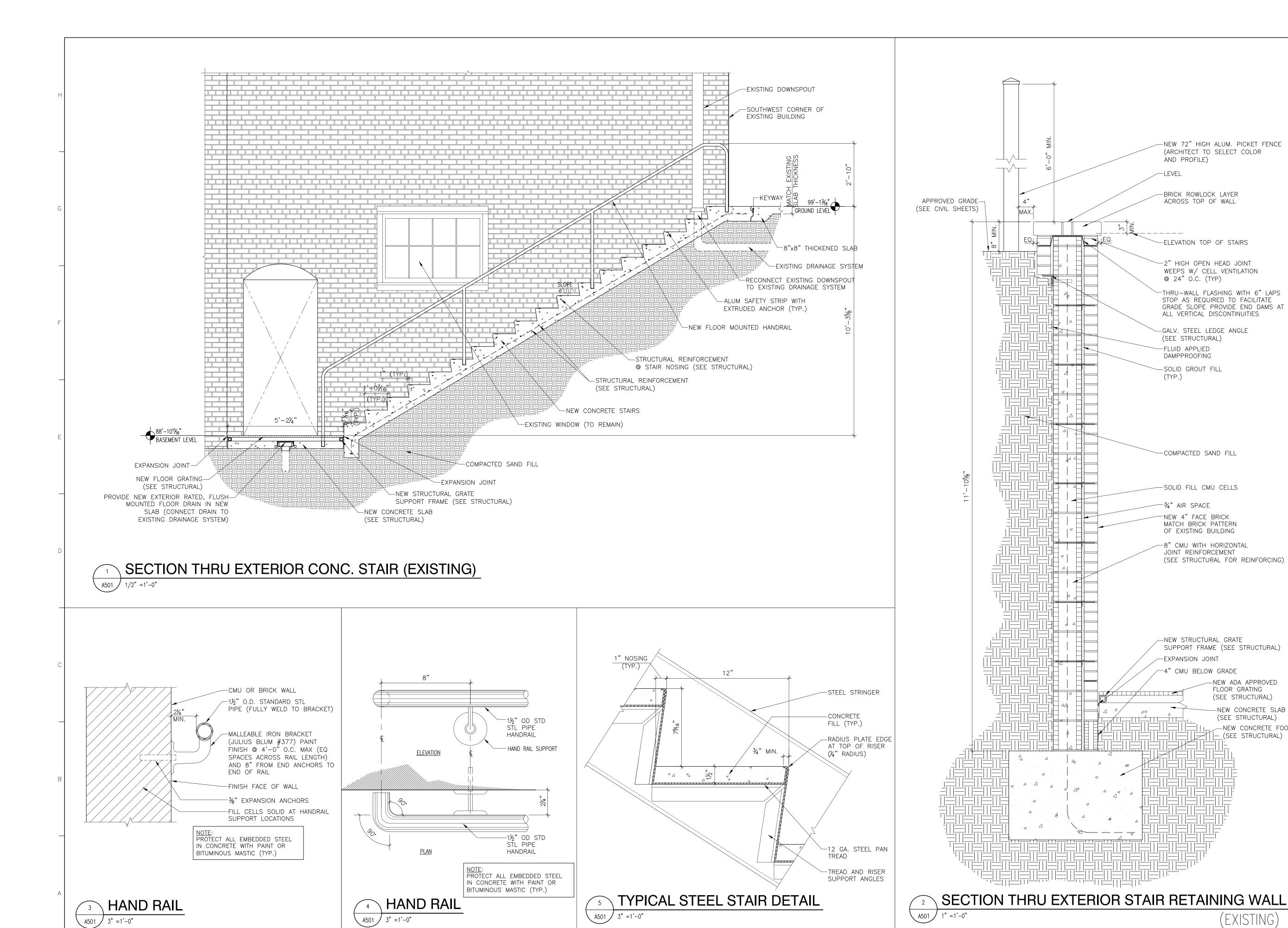
ENLARGED PLANS

A423 REV NO

ENLARGED JUDGES BENCH

1/4"=1'-0"

2 KITCHEN ROOM 116
A423 1/4"=1'-0"





ELIIOTT MARSHAUL INNES RA. (EMI orchiecta) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442 www.emiorch.com UCBISE #s AA.C000409 IB C000153

> 11"x17" SHEETS ARE PLOTTED AT 1/5 THE SCALE NOTED ON THESE DRAWINGS.

Florida Department of State **Division of Historical Resources**

HISTORIC JEFFERSON **COUNTY HIGH SCHOOL** RESTORATION

MONTICELLO, FLORIDA

NEW ADA APPROVED

-NEW CONCRETE SLAB

(SEE STRUCTURAL)

(EXISTING)

-NEW CONCRETE FOOTING

(SEE STRUCTURAL)

(SEE STRUCTURAL)

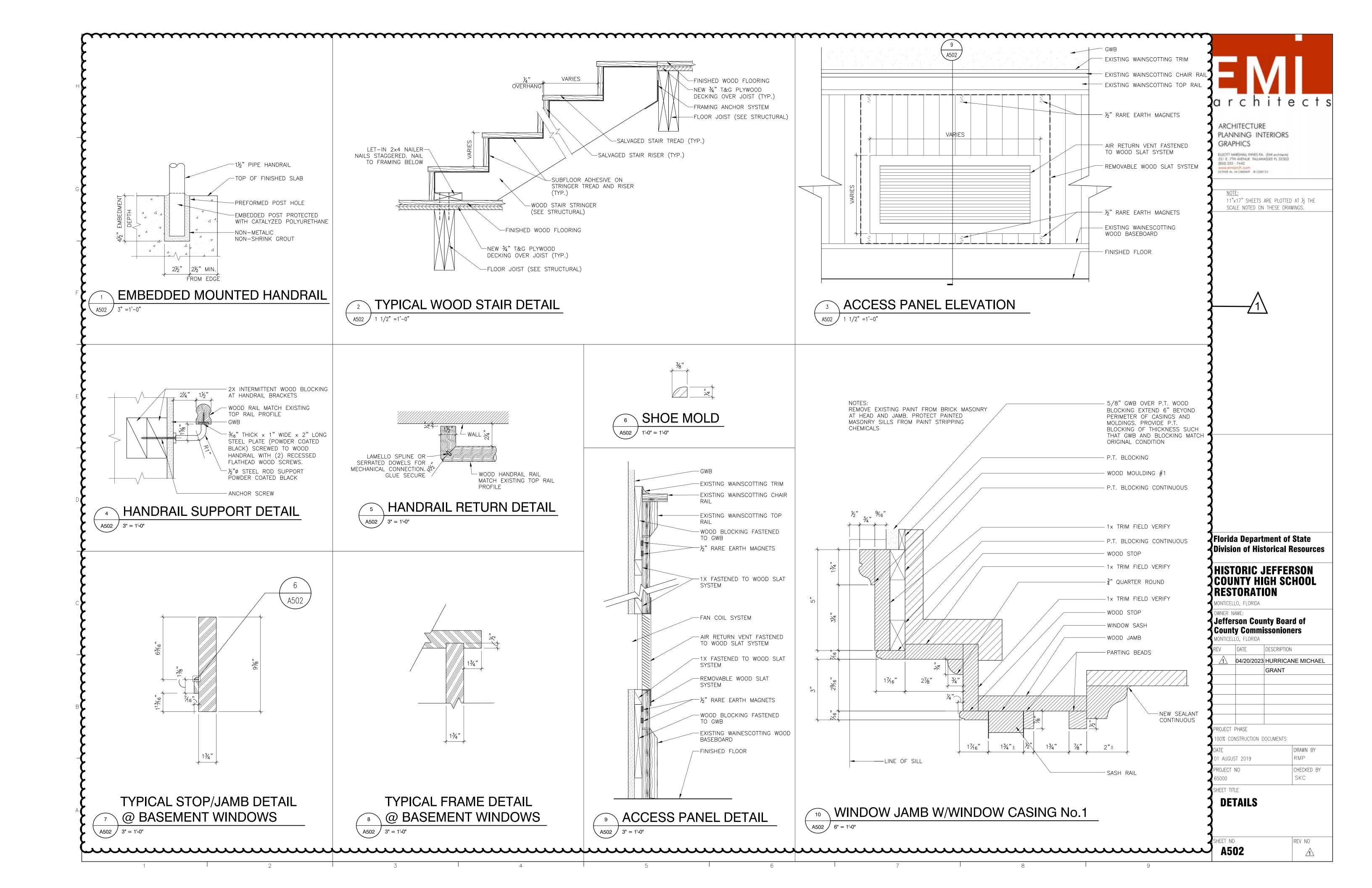
FLOOR GRATING

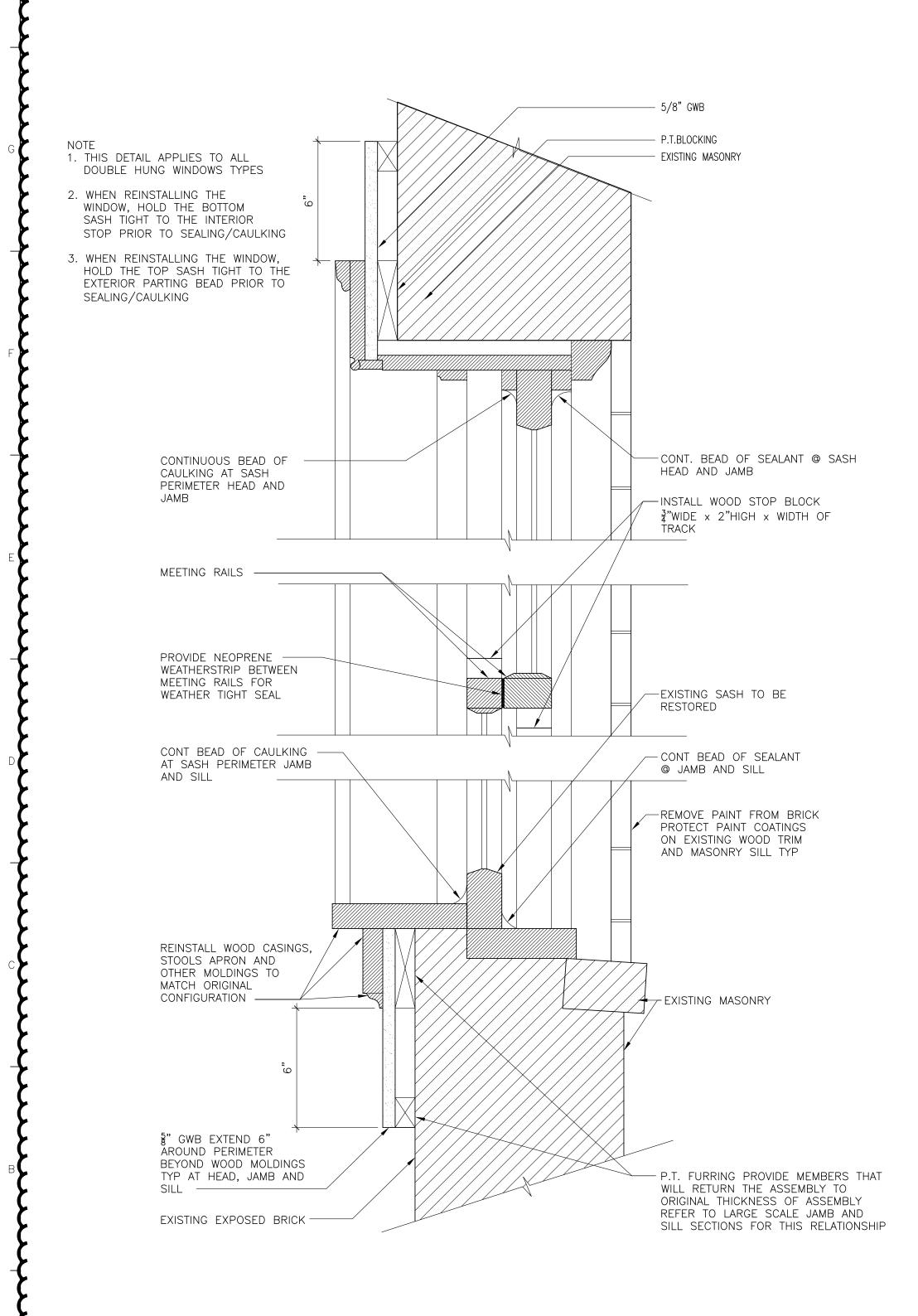
OWNER NAME: Jefferson County Board of

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STAIR SECTION AND DETAILS

SHEET TITLE

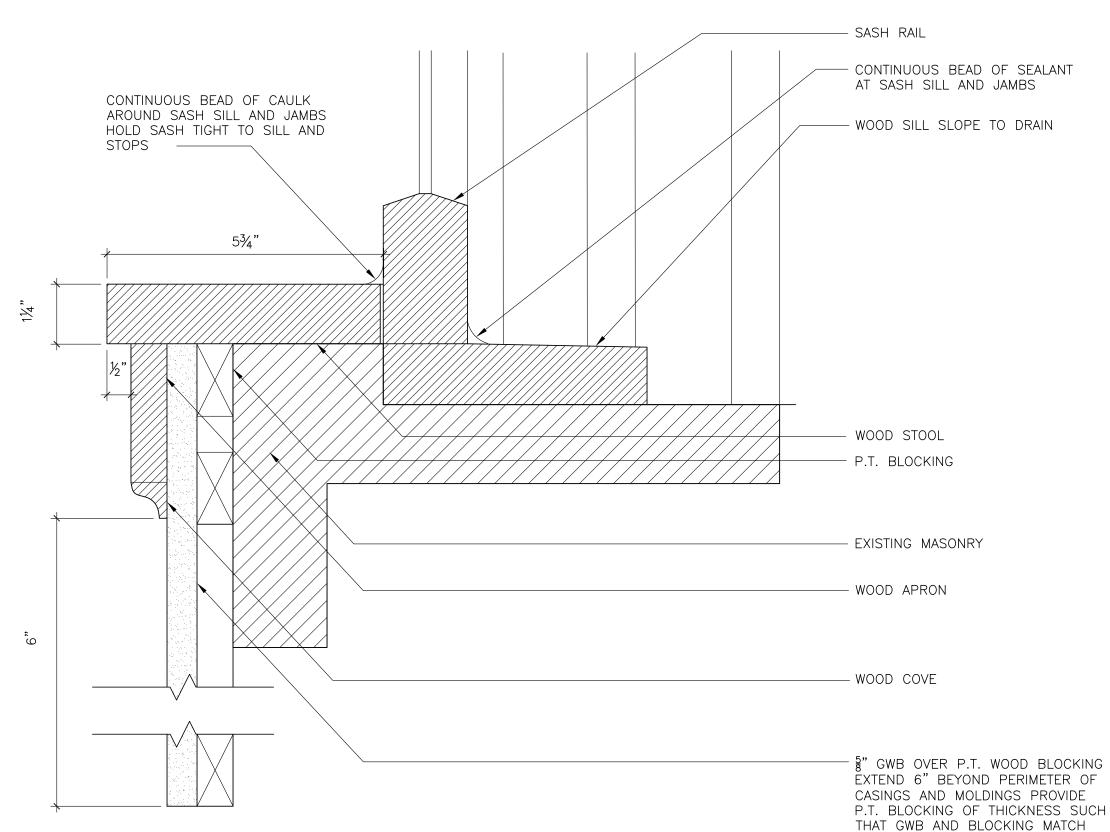




DOUBLE HUNG WINDOW SECTION

\ A503 \ \ 3" = 1'-0"

1. EXISTING WOOD MOLDING PROFILES AS DETAILED ARE APPROXIMATE. PROFILE MAY VARY FROM THAT SHOWN FOLLOWING REMOVAL OF PAINT. 2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS FOR ACCURACY. 3. THE WOOD STOP AT SILL DETAIL CONDITION OCCURS AT THE FOLLOWING - SASH RAIL WINDOW LOCATIONS ONLY. 103A, 103B, 104A, 104B, 107A, 108A, 111A, 113A, 207A, 207B, 207C, 207D, 207É, 207F, 207G, 207H, 207I, 207J. AT THE FOLLOWING - WOOD STOP THE CONTRACTOR SHALL FIELD VERIFY THE SILL CONDITION. IT SHALL BE NOTED THAT ALL OTHER ADJACENT WINDOWS ARE APPROXIMATELY DETAILED AS SHOWN. 1%" - WOOD SILL SLOPE TO DRAIN MASONRY SILL WOOD STOOL WOOD APRON PT 1x WOOD BLOCKING WOOD COVE EXISTING WINDOW SILL WITH WOOD STOP @ SILL #1 A503 / 6" = 1'-0" CONTINUOUS BEAD OF SEALANT AT SASH SILL AND JAMBS



EXISTING WINDOW SILL WITH WOOD STOP @ SILL #2

architects ARCHITECTURE PLANNING INTERIORS GRAPHICS ELIOTT MARSHALL INNES PA. (EMI orchisch) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442 WWW.emicrch.com UCENSE #s AN C00040P IS C000153 11"x17" SHEETS ARE PLOTTED AT ½ THE

SCALE NOTED ON THESE DRAWINGS.

∢Florida Department of State **∠**Division of Historical Resources

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

√Jefferson County Board of **⊀**County Commissonioners

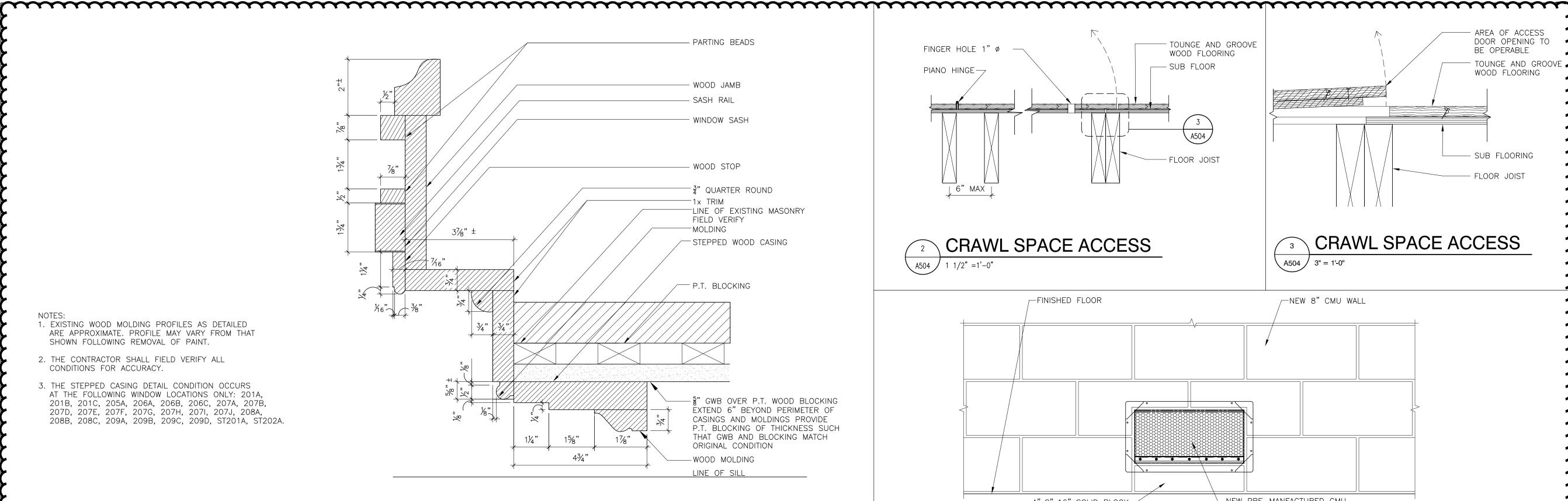
04/20/2023 HURRICANE MICHAEL GRANT PROJECT PHASE 100% CONSTRUCTION DOCUMENTS DRAWN BY RMP 01 AUGUST 2019 PROJECT NO CHECKED BY

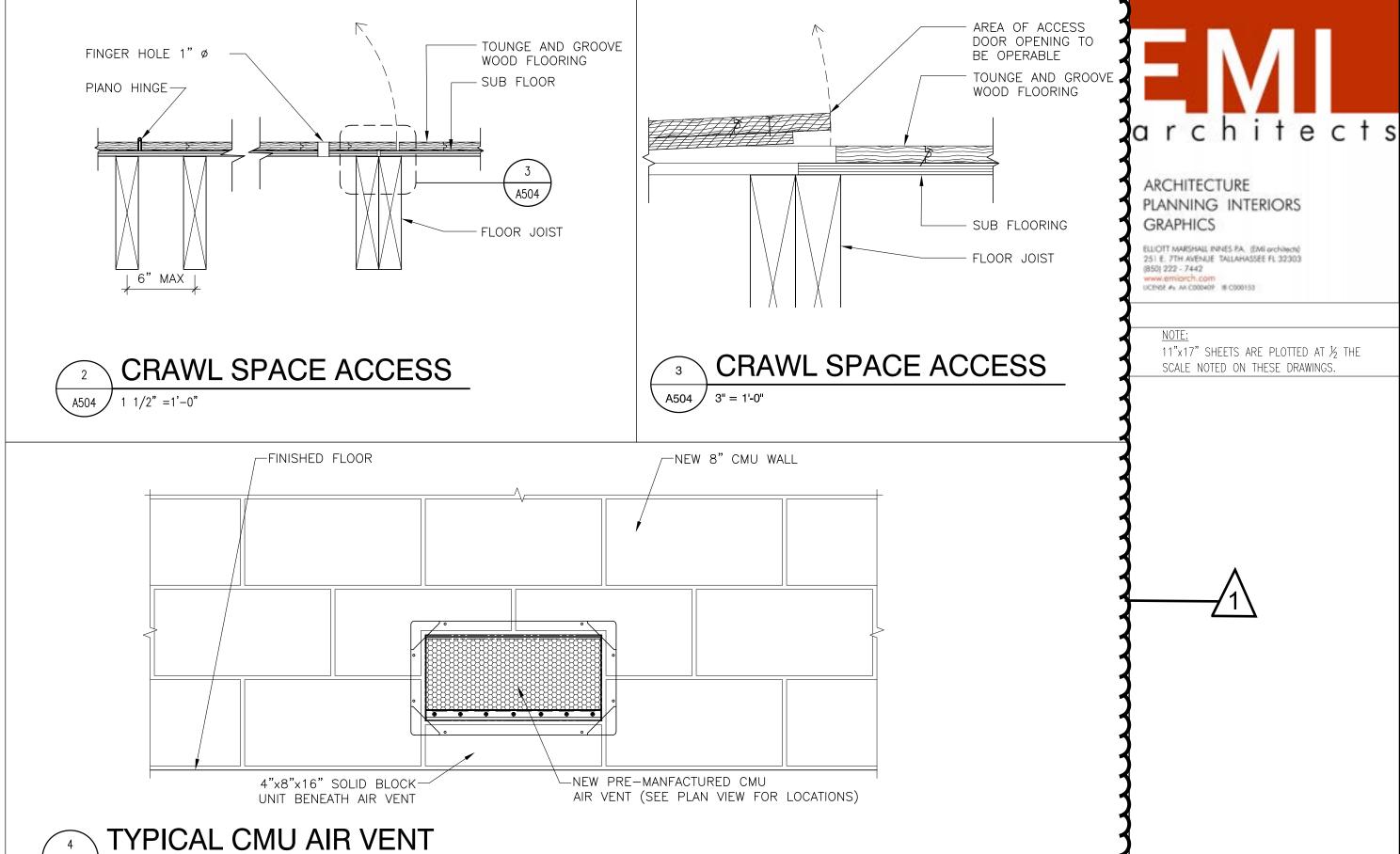
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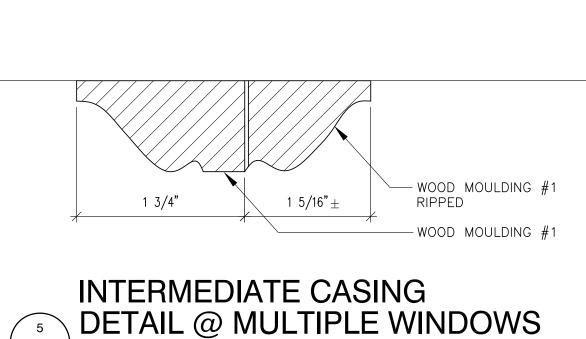
SHEET TITLE

DETAILS

ORIGINAL CONDITION







1. EXISTING WOOD MOLDING PROFILES AS DETAILED ARE APPROXIMATE. PROFILE MAY VARY FROM THAT

3. THE STEPPED CASING DETAIL CONDITION OCCURS AT THE FOLLOWING WINDOW LOCATIONS ONLY: 201A,

201B, 201C, 205A, 206A, 206B, 206C, 207A, 207B,

208B, 208C, 209A, 209B, 209C, 209D, ST201A, ST202A.

207D, 207E, 207F, 207G, 207H, 207I, 207J, 208A,

SHOWN FOLLOWING REMOVAL OF PAINT.

2. THE CONTRACTOR SHALL FIELD VERIFY ALL

CONDITIONS FOR ACCURACY.

A504 6" = 1'-0"

A504 1'-0" = 1'-0"

∡Florida Department of State Division of Historical Resources

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

ARCHITECTURE

WWW.emiorch.com UCENSE #s AN C00040P (# C000153)

GRAPHICS

PLANNING INTERIORS

ELLIOTT MARSHALL INNES PA. (EMI ovchlach) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442

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⊀ Jefferson County Board of **★**County Commissonioners

DESCRIPTION 04/20/2023 HURRICANE MICHAEL GRANT

PROJECT PHASE 100% CONSTRUCTION DOCUMENTS

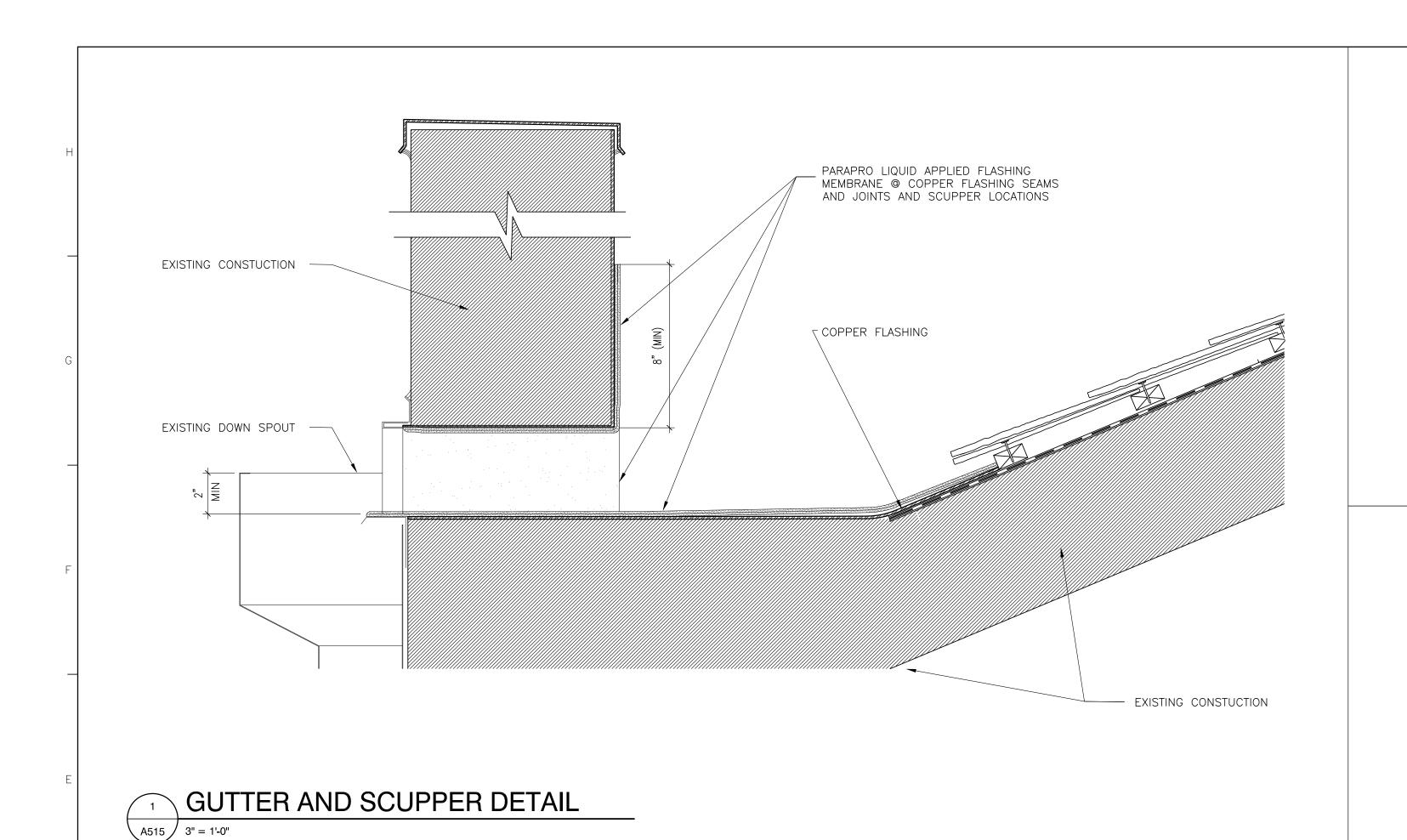
DRAWN BY RMP 01 AUGUST 2019 PROJECT NO CHECKED BY SKC

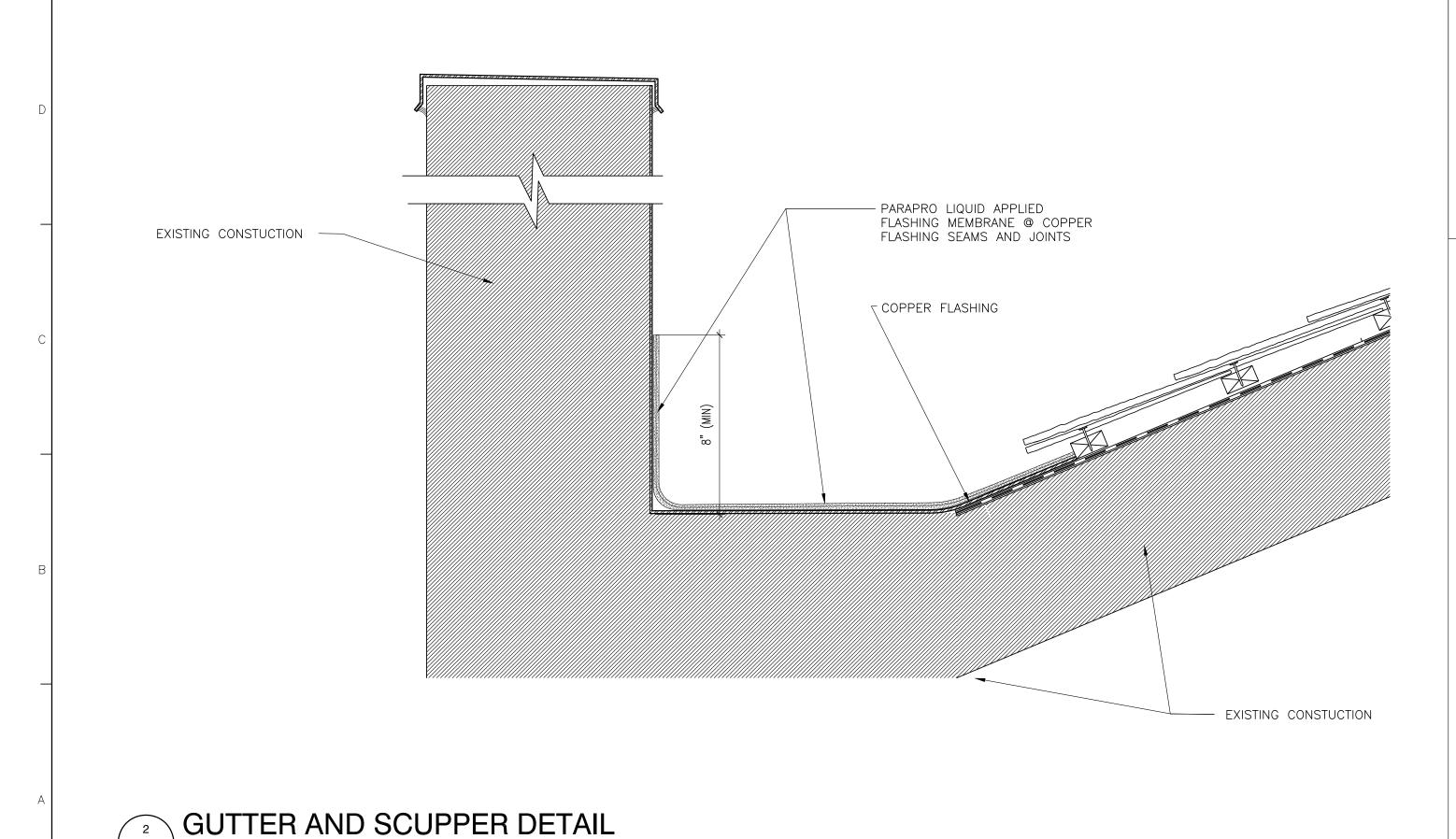
SHEET TITLE **DETAILS**

REV NO

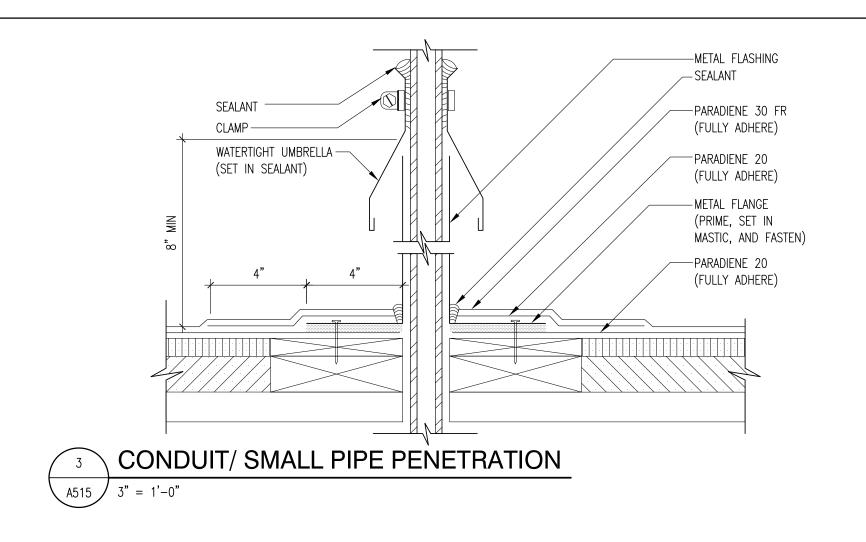
 $A504 \int 1 \frac{1}{2} = 1' - 0''$

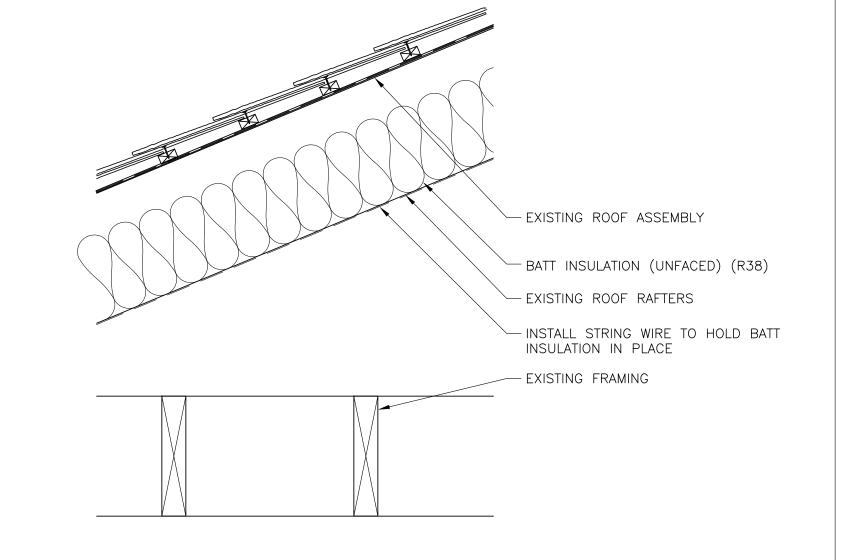
DOUBLE HUNG WINDOW JAMB #2/HEAD SIMILAR





A515 3" = 1'-0"









ARCHITECTURE PLANNING INTERIORS GRAPHICS

ELLIOTT MARSHALL INNES PA. (EMI prohiech)
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(850) 222 - 7442
www.emiorch.com
UCRSE #s As C000409 (6 C00013)

NOTE:

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Florida Department of State
Division of Historical Resources

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

owner NAME:
Jefferson County Board of
County Commissonioners

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DATE
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PROJECT NO
CHECKED BY
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SHEET TITLE

ROOF DETAILS

SHEET NO REV NO

GENERAL NOTES THESE NOTES APPLY TO ALL WINDOWS AND DOORS INCLUDED IN THIS PROJECT

- 1. THE EXISTING FIELD CONDITIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS ARE BASED ON OBSERVATIONS MADE IN JULY 2019. THEREFORE, THE CONTRACTOR SHALL NOTE THAT ACTUAL FIELD CONDITIONS AT THE TIME OF BIDDING AND CONSTRUCTION MAY VARY. ANY SIGNIFICANT VARIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 2. THE CONTRACTOR SHALL NOTE THAT HISTORIC GLASS AND BROKEN GLASS HAVE BEEN IDENTIFIED FOR EACH WINDOW TO THE MAXIMUM EXTENT POSSIBLE. THE CONTRACTOR MAY DISCOVER MORE OR LESS QUANTITIES OF HISTORIC OR BROKEN GLASS. SHOULD THIS OCCUR, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. DO NOT RE-USE NON-HISTORIC GLASS. GROUP HISTORIC GLASS IN WINDOW UNITS. DO NOT INSTALL RESTORATION GLASS IN THE SAME WINDOW WITH HISTORIC GLASS UNLESS AGREED TO IN ADVANCE BY THE ARCHITECT.
- 3. IT IS INTENDED THAT ALL HISTORIC ELEMENTS BE REUSED EXCEPT WHERE MISSING, ROTTED OR OTHERWISE UNREPAIRABLE. WHERE REQUIRED TO BE REPLACED, THE CONTRACTOR SHALL DUPLICATE THE WOOD PROFILES OF THE HISTORIC MOLDINGS, CASINGS, STILES, RAILS, MUNITIONS AND OTHER MISCELLANEOUS COMPONENTS OF THE WINDOW UNIT AND TRIM.
- 4. IT IS NOT THE INTENTION OF THE PROJECT TO RETURN WOOD COMPONENTS TO LIKE NEW CONDITION. KNICKS, GOUGES, NOTCH'S AND SIMILAR TYPE ITEMS THAT DO NOT AFFECT THE OVERALL OPERATION OR STABILITY OR WEATHER TIGHTNESS OF THE WINDOW/DOOR UNIT DO NOT REQUIRE REPAIR.
- 5. REMOVE, CLEAN AND REINSTALL ALL EXISTING HISTORIC WINDOW HARDWARE. PROVIDE NEW HARDWARE TO MATCH EXISTING HARDWARE WHEN INSUFFICIENT QUANTITIES OF HISTORIC HARDWARE EXIST.
- 6. WHERE WINDOWS ARE IDENTIFIED AS HAVING HISTORIC SPLICES, WHEN RESTORED THESE UNITS SHALL BE REINSTALLED IN SIMILAR OPENINGS IDENTIFIED AS HAVING HISTORIC SPLICES.
- 7. RESTORATION GLASS SHALL BE AS SPECIFIED.
- 8. THE EXTERIOR AND INTERIOR OF ALL WINDOW UNITS SHALL BE FULLY PAINTED AS SPECIFIED.
- 9. ALL WINDOW CASINGS, APRONS, SILLS AND SIMILAR ITEMS REMOVED AS PART OF THIS PROJECT, OR REMOVED BY OTHERS PRIOR TO COMMENCEMENT OF THIS PROJECT AND RESTORED FOR REINSTALLATION SHALL BE BACKPRIMED.
- 10. THE CONTRACTOR SHALL INSPECT THE BASEMENT WINDOWS SUB FRAME HEADERS FOR REUSE STABILITY.
- 11. WHERE THE CONTRACTOR ENCOUNTERS CONCEALED CONDITIONS WHERE DETERIORATION HAS OCCURRED, SPECIFIC RESTORATION RECOMMENDATIONS SHALL BE PROVIDED TO THE ARCHITECT.
- 12. THE CONTRACTOR UPON REMOVAL OF WINDOW UNITS FOR RESTORATION SHALL PROVIDE A TEMPORARY WEATHER TIGHT ENCLOSURE. MECHANICAL FASTENERS TO THE EXISTING BUILDING SHALL NOT BE USED.
- 13. CASINGS, MOLDINGS, APRONS, STOOLS AND OTHER MOLDINGS HAVE BEEN REMOVED AND STRIPPED OF LEAD PAINT. THESE COMPONENTS ARE STORED ON SITE FOR RESTORATION AND REINSTALLATION AS PART OF THIS PROJECT.
- 14. WHEN STRIPPING LEAD BASED PAINT, PERFORM OPERATIONS IN ACCORDANCE W/ ALL APPLICABLE LAWS AND STATUTES. PROTECT ALL ADJACENT SURFACES, INCLUDING SOIL, SO THAT ALL LEAS BASED PAINT IS COLLECTED. DISPOSE OF LEAD BASED PAINT DROPPINGS AND WASTE STREAM DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND STATUTES.
- 15. ALL MISCELLANEOUS SASH PARTS, HARDWARE, HISTORIC GLAZING AND SIMILAR ITEMS OF ANY KIND THAT IS REMOVED AND NOT REINSTALLED SHALL REMAIN PROPERTY
 OF THE OWNER AND SHALL BE DELIVERED TO A PLACE WITHIN THE HISTORIC JEFFERSON COUNTY HIGH SCHOOL DESIGNATED BY THE ARCHITECT.
- 16. REPLACEMENT GLASS SHALL BE FULL RESTORATION GLASS BY BENDHEIM 1-800-835-5304
- 17. THE HISTORIC WINDOW GLAZING WAS ORIGINALLY SECURED IN PLACE WITH WOOD GLAZING BEADS. IT IS INTENDED THAT WOOD GLAZING BEADS BE USED AT ALL WINDOWS RESTORED UNDER THIS PROJECT. THE CONTRACTOR SHALL PROVIDE REPLACEMENT GLAZING BEADS THAT MATCH THE ORIGINALS IN ALL RESPECTS INCLUDING DIMENSION, PROFILE AND METHOD OF ATTACHMENT.
- 18. ALL HISTORIC AND REPLACEMENT GLAZING WHEN REINSTALLED SHALL BE SET IN A BED OF GLAZING COMPOUND, TO INSURE WEATHER TIGHTNESS, PRIOR TO SETTING WOOD GLAZING BEADS IN PLACE. GLAZING COMPOUND USED IN THIS APPLICATION SHALL BE CONCEALED FROM VIEW TO THE MAXIMUM EXTENT POSSIBLE.
- 19. PROVIDE CONTINUOUS SEALANT BETWEEN ALL EXTERIOR WOOD COMPONENTS AND THE EXISTING MASONRY.
- 20. THE CONTRACTOR SHALL USE CARE IN WORKING WITH HISTORIC WOOD AND GLASS COMPONENTS TO MINIMIZE DAMAGE BY CAUSING GOUGES, SCRAPES, BREAKAGE AND OTHER DELETERIOUS EFFECTS.
- 21. THE CONTRACTOR SHALL USE PRODUCTS DESIGNATED FOR WOOD RESTORATION. PRODUCTS INCLUDING BUT NOT LIMITED TO PC-PRODUCTS. PC-ROT TERMINATOR, PC-PETRIFIER WOOD HARDENER AND PC-WOOD EPOXY PASTE ARE ACCEPTABLE FOR USE ON THIS PROJECT.

PC-PRODUCTS
221 SOUTH THIRD STREET
ALLENTOWN, PA 18102
TELE: (610) 432-3543

22. BONDO AND SIMILAR PRODUCTS NOT INTENDED FOR US W/ WOOD IS NOT ACCEPTABLE FOR USE ON THIS PROJECT.

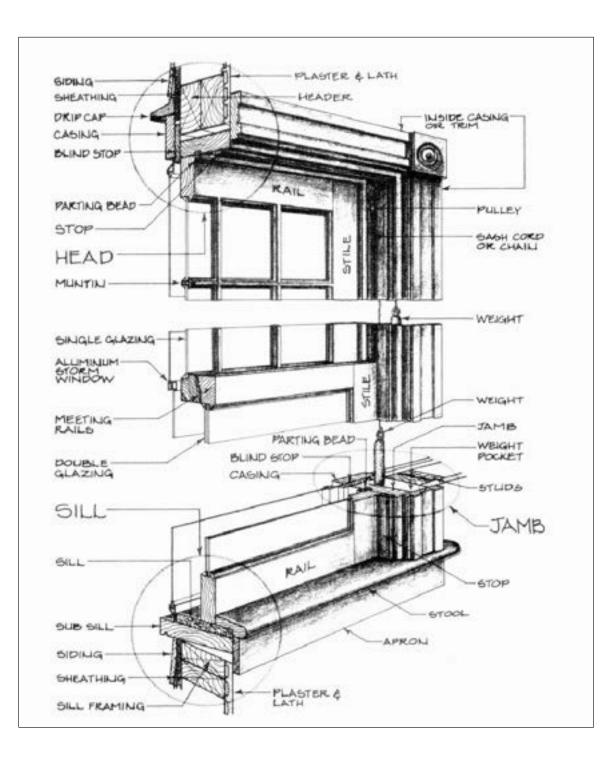
23. ALL PAINT PRIMING SHALL BE OIL-BASED PAINT

28. DEFINITIONS FOR PURPOSES OF THIS CONTRACT:

FAX: (610) 432-5043

24. WHERE GLAZING COMPOUNDS ARE USED TO WEATHERPROOF THE GLASS COMPONENT, MILDEWCIDE SHALL BE MIXED INTO THE GLAZING COMPOUND.

- 25. IF WOOD IS FOUND TO BE DRY FOLLOWING STRIPPING, APPLY A MIX CONTAINING 50% LINSEED OIL, 50% TURPENTINE AND MILDEWCIDE TO THE WOOD. APPLY COATS AS NECESSARY TO REINTRODUCE MOISTURE INTO THE WOOD. ALLOW MIN. 24 HOURS BEFORE APPLYING NEW PAINT.
- 26. WHEN STRIPPING WOOD COMPONENTS USE NON-CAUSTIC STRIPPERS.
- 27. CHEMICAL STRIPPERS, WATER REPELLENTS AND MORTAR HARDENERS, PROVIDE PROTECTION FOR WINDOWS, DOORS AND OTHER PAINTED SURFACES TO AVOID DAMAGE.
- GOOD THE IDENTIFIED COMPONENT APPEARED TO BE SUITABLE FOR REUSE AT THE TIME OF OBSERVATION.
- FAIR THE IDENTIFIED COMPONENT APPEARED TO BE SUITABLE FOR REUSE AT THE TIME OF OBSERVATION SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
- POOR THE IDENTIFIED COMPONENT APPEARED TO BE UNSUITABLE FOR REUSE AT THE TIME OF OBSERVATION SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
- MISSING THE IDENTIFIED COMPONENT DOES NOT EXIST AT THE LOCATION NOTED AT THE TIME OF OBSERVATION. THE CONTRACTOR SHALL SALVAGE FROM OTHER AVAILABLE COMPONENTS, OR RECREATE TO MATCH ORIGINAL COMPONENTS AND INSTALL.
- 29. THE CONTRACTOR SHALL REFER TO "PRESERVATION BRIEF 9: THE REPAIR OF HISTORIC WOODEN WINDOWS" BY THE NATIONAL PARK SERVICE FOR ADDITIONAL GUIDELINES IN COMPLETING THE WORK ON THIS PROJECT.
- 30. WINDOW/DOOR GLASS NOT IDENTIFIED AS HISTORIC (H) IS INTENDED TO BE REPLACED WITH HISTORIC GLASS OR FILL RESTORATION GLASS.
- 31. THE CONTRACTOR SHALL INVESTIGATE ALL WINDOW ROUGH OPENING (HEAD, JAMB, SILL/BASE FRAMING) FOR REUSE/STABILITY. IDENTIFY AND REPLACE ROTTEN WOOD.
- 32. REPAIR/REPLACE TRIM AND CASING COMPONENTS TO APPEAR AS CONTINUOUS.



NOTES

- THIS DRAWING IS INTENDED FOR USE IN IDENTIFYING COMPONENT PARTS
 OF HISTORIC DOUBLE HUNG WINDOWS.
- 2. CONDITIONS DELINEATED ON THIS DRAWING MAY VARY FROM THOSE IN THE FIFLD.
- 3. SEE ARCHITECTURAL DETAILS FOR EXISTING CASINGS, STOPS, SILLS, STOOLS, MUNTINS, ETC. TO BE REINSTALLED OR RECREATED FOR THIS PROJECT.
- 4. MUNTINS ARE NOT SHOWN ON LOWER SASH FOR CLARITY.



ARCHITECTURE PLANNING INTERIORS GRAPHICS

ELLIOTT MARSHALL INNES PA. (EMI orchiech) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222 - 7442 www.emiorch.com uceyst 4s As Cooper # Coopers

NOTE:

11"x17" SHEETS ARE PLOTTED AT ½ THE
SCALE NOTED ON THESE DRAWINGS.



ISOMETRIC CONFIGURATION OF HISTORICAL DOUBLE HUNG WINDOWS N.T.S

DOOR GENERAL NOTES:

MANNAN MARKATAN M

- 1. THE EXISTING FIELD CONDITIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS ARE BASED ON OBSERVATIONS MADE IN JULY 2019. THEREFORE, THE CONTRACTOR SHALL NOTE THAT ACTUAL FIELD CONDITIONS AT THE TIME OF BIDDING AND CONSTRUCTION MAY VARY. ANY SIGNIFICANT VARIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 2. THE CONTRACTOR MAY DISCOVER MORE OR LESS QUANTITIES OF DOORS OR DOOR HARDWARE. SHOULD THIS OCCUR, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- 3. IT IS INTENDED THAT ALL DOORS BE REUSED EXCEPT WHERE MISSING, ROTTED OR OTHERWISE UNREPAIRABLE. WHERE REQUIRED TO BE REPLACED, THE CONTRACTOR SHALL DUPLICATE THE DOOR AND IT'S WOOD PROFILES OF THE HISTORIC MOLDINGS, CASINGS, FRAMES, AND OTHER MISCELLANEOUS COMPONENTS OF THE DOOR
- 4. ALL MISCELLANEOUS PARTS, HARDWARE, AND SIMILAR ITEMS OF ANY KIND THAT IS REMOVED AND NOT REINSTALLED SHALL REMAIN PROPERTY OF THE OWNER AND SHALL BE DELIVERED TO A PLACE WITHIN THE HISTORIC JEFFERSON COUNTY HIGH SCHOOL DESIGNATED BY THE ARCHITECT.
- 5. REMOVE, CLEAN AND REINSTALL ALL EXISTING HISTORIC DOOR HARDWARE. PROVIDE NEW HARDWARE TO MATCH EXISTING HARDWARE WHEN INSUFFICIENT QUANTITIES OF HISTORIC HARDWARE EXIST.
- 6. CONTINOUSLY CAULK WINDOW SASHES IN PLACE AT HEAD, JAMB AND SILL.

Florida Department of State
Division of Historical Resources

THISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

IONTICELLO, FLORIDA

Jefferson County Board of County Commissonioners

REV DATE DESCRIPTION

04/20/2023 HURRICANE MICHAEL

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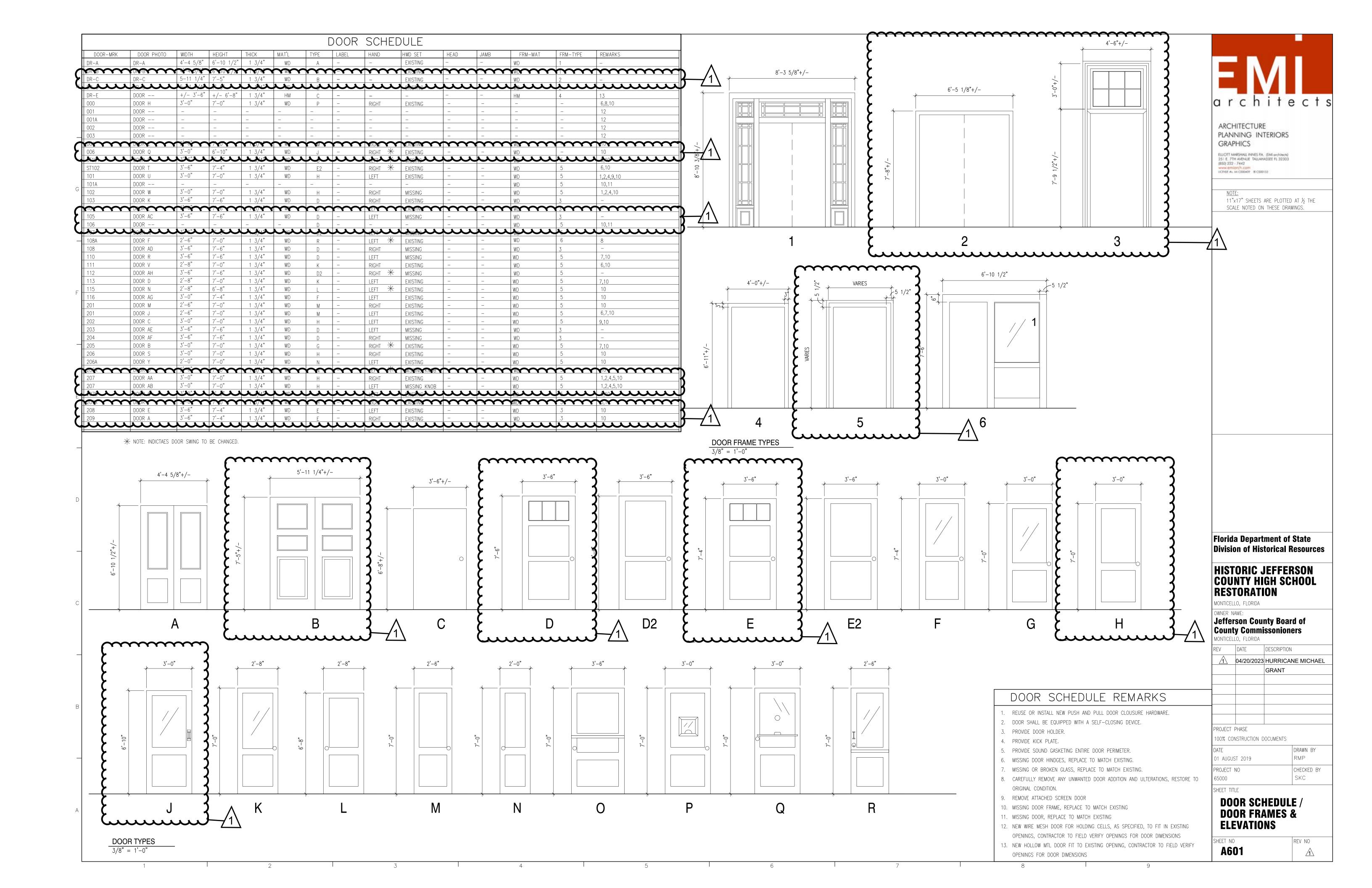
WINDOW AND DOOR GENERAL NOTES

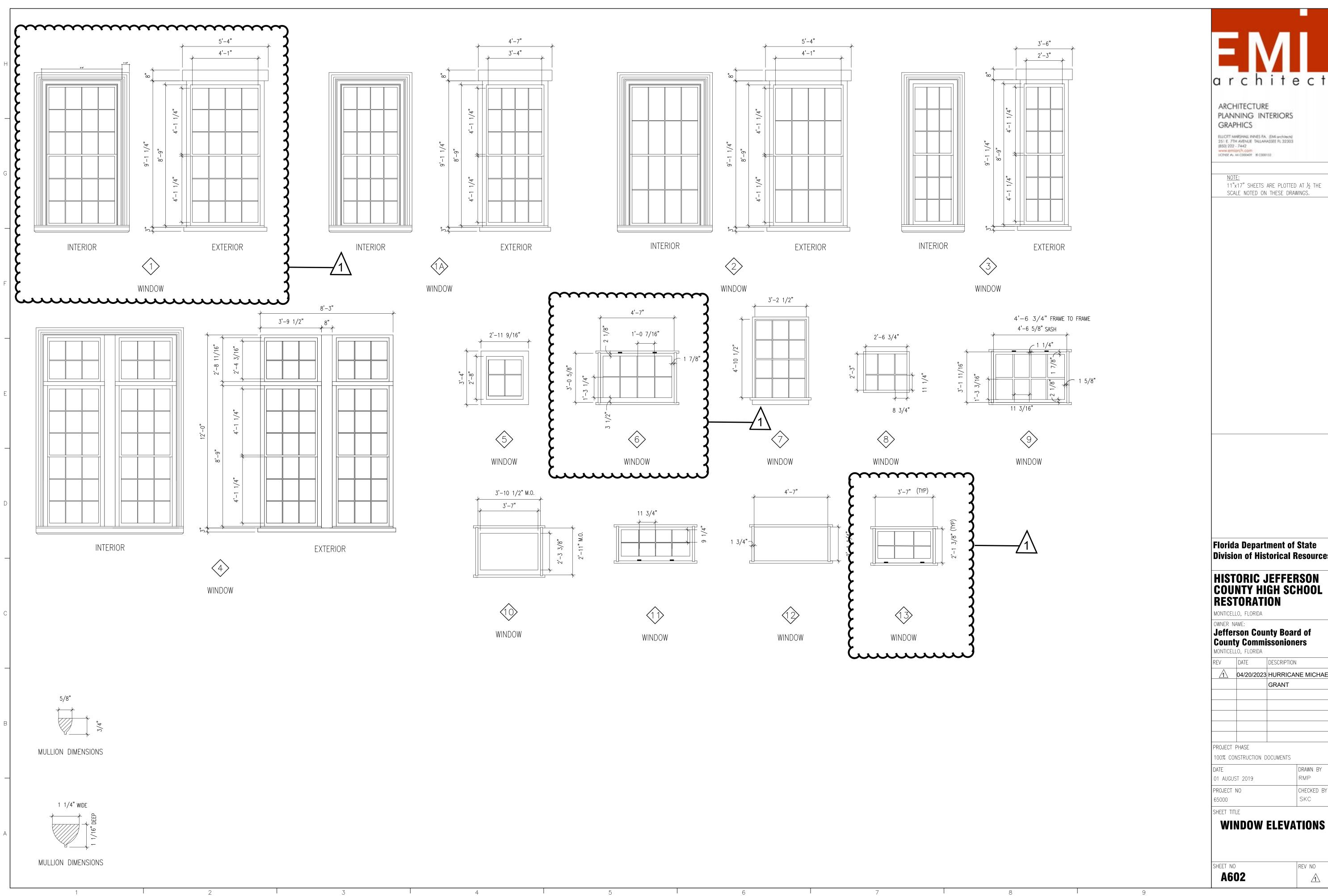
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11"x17" SHEETS ARE PLOTTED AT ½ THE

Division of Historical Resources

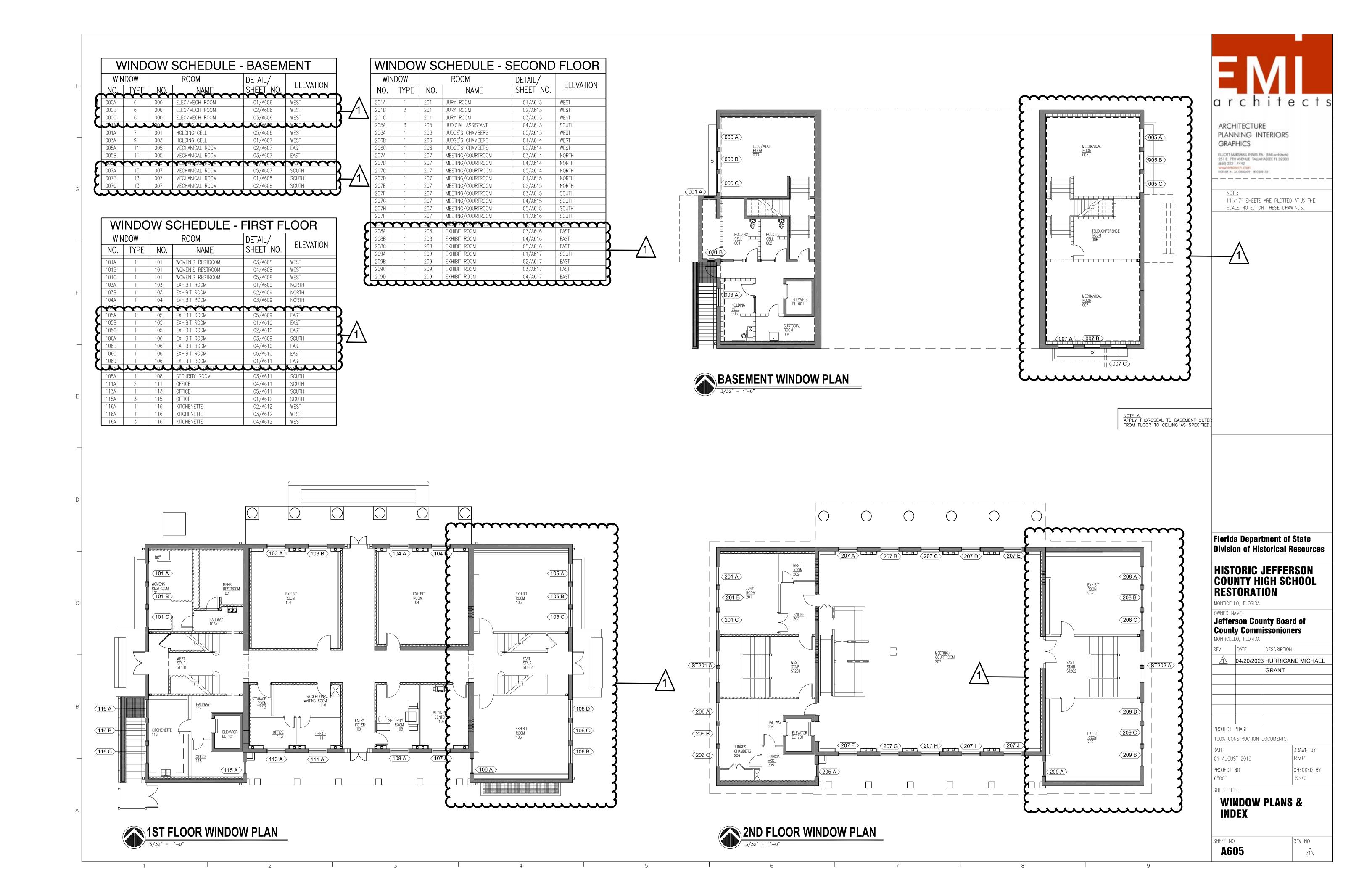
HISTORIC JEFFERSON COUNTY HIGH SCHOOL

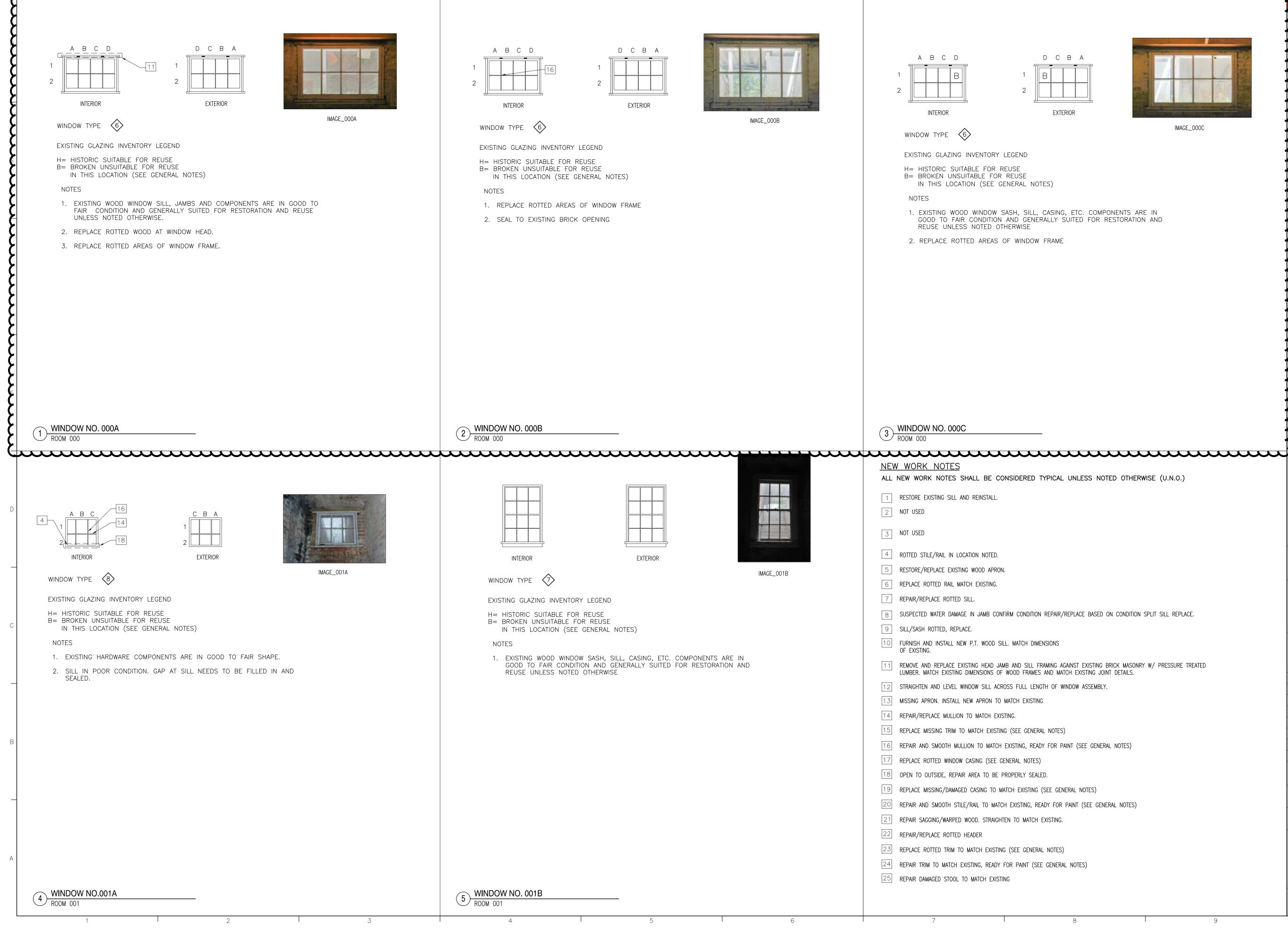
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architects

ARCHITECTURE PLANNING INTERIORS GRAPHICS

OTT MARSHALL INNES PA. (EMI orchitects) 51 E. 7TH AVENUE TALLAHASSEE FL 32303 www.emicrch.com ucess #s Ax coooxop (6 cooo15)

11"x17" SHEETS ARE PLOTTED AT 1/3 THE SCALE NOTED ON THESE DRAWINGS.

Florida Department of State **Division of Historical Resources**

HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME: **Jefferson County Board of County Commissonioners**

/1\ 04/20/2023 HURRICANE MICHAEL

PROJECT PHASE

100% CONSTRUCTION DOCUMENTS

RMP 01 AUGUST 2019 PROJECT NO CHECKED BY SKC

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WINDOW ANALYSIS